

### CONTRACT ADDENDUM #2

Date of Issuance: 2.19.2025 Project: Hyrum City – Libbie Springs Park Subject: Contract Document revisions & bid Questions/Responses

Incorporate the following revisions to the Specifications, Drawings and other Contract Documents of the above named project. General Items are not referenced. Revisions to the Specifications are referenced by section, page number, and paragraph number. Revisions to the Drawings are referenced by drawing sheet number. This addendum forms part of the Construction Document.

The end of the Addendum is indicated by the note "END OF ADDENDUM". Attachments are located at the end of the Addendum and are referenced in the Addendum.

Item2.1

Add bid alternate concrete perimeter walk in three different locations as shown on sheet CI01 & CI02. Install area drain as shown on sheet CI01 at existing inlet pipe location. Assumed box height should be 3'-0" from flow line. Provide solid lid on area drain.
 Item2.2
 Add concrete hatch to bench pads & bike rack pad CI02.
 Item2.3
 Remove boulders from trail at playground all 102 sheets.
 Item2.4
 Add Sheets D001 Demolition Plan and C002 SWPPP, see attached. Contractor shall provide SWPPP plan and all permitting required by city and state.
 Sheets C202 cut existing grade hillside to provide fill along property line edge and at existing spring outlet. Anticipate 3-4 feet fill along spring flowline area after French drain has been installed.

Reference of existing trees runks of existing trunks of existing trees runks of existing trees

ltem2.6

Revise details 5, 11, and 12 a shown on attached C500

Item 2.7

Change official bid date submission to February 25, 2025 due at 5:00 PM MST

### Attachments: D001, C002, C101, C102, C500

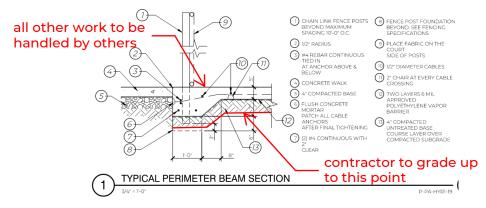
### **QUESTIONS & RESPONSES**

- Plan states that the amount of boulders is not called out in the legend and to look at the plans. I did that, but did not see any called out on the plans. They show them in the colored pictures, but it is not clear enough to be able to count them. Any help would be appreciated. Response: Boulder wall is on the west side of the pickleball court. See layout and grading plan for location.
- Are there any other items that need to be submitted with the cost proposal? Contractor qualifications, project schedule, etc.
   Response: Yes, please submit info as requested in RFP section 3: proposal and pricing.
- 3. Does the playground curbing need to step at each EC elevation or will it slope to match the EC elevations called out?

Response: Playground curbing is intended to have a consistent slope with some of the concrete exposed where steps occur. See concept below.



- 4. Please clarify the perimeter sidewalks that should be included in the bid alternate. Response: See addendum #2 for info and attached sheets C101 & C102. Match grades of adjacent road with a 2% slope away. City will do work in parkstrip. Provide two 4" sleeves in each section of walk for owner to tie irrigation into parkstrip.
- Should the clearing and grubbing be included in the earthwork bid item? Response: Clearing and grubbing may be included in earthwork bid item. Bid schedule is generic and should include all items in documents.
- Please clarify which areas need to be included in the fine grading bid item. Response: Bid schedule is generic and should include all items in documents. Fine grading may include the work you see fitting.
- 7. Will the contractor be responsible for the furnish and install of subgrade materials under the 4" untreated base course at the pickleball court? If so, is it acceptable to grade and compact native? Response: Yes, contractor will be responsible for the base course and earthwork under the 4" compacted base course. Detail below shows work to be done by others. Coordinate with city and provide staking.



 There aren't any bid items specific to the pavilion and shade structure. Will those be added to the bid schedule?
 Response: Majority of work is concrete work. Lump price in where makes most sense as bid form is generic

9. The ADA ramp with handrail is somewhat unclear. The plan shows what could be a curb on either side of the ramp (similar to 3/C501), but the detail shows steel at the lower part of the handrail. The detail does not show a rail at the midpoint of the handrail. The detail also shows a column footing for the handrail posts. Is there an option that we can use to allow for surface mounting the handrail or core drilling and grouting?

Response: Revise layout plan to remove the raised curb. See new detail 5/C500 and revised detail 12/C500.

10. Would it be acceptable to use #3 rebar @ 18"-24" O.C.E.W. in lieu of the WWF called out at the basketball court?

Response: Yes a substitute for basketball court #2 callout may be #3 rebar @ 18" O.C.E.W

- 11. C101 Note 13. Calls for basketball court. L101 Show Post Tension court provided by owner. Is this owner or contractor provided. If contractor, do you want post tension or just follow detail 7 on C500? Response: Remove post tension note on sheet L101. Yes, follow detail #7/C500 as called out on C101.
- 12. Bridge, any rails or just the bridge? Is a question Links bridge is asking. Response: Bridge does not need railing because fall height is less than 30", just needs to have the side guiderail lip to prevent wheelchair from falling off.
- 13. It's hard to put a number to maintenance without knowing some more specifics on the native grass area, can you provide some additional parameters? Response: For the maintenance of the native grass area please provide a total of seven visits this year to provide spot spray weed control, provide approximately 15,000 sq ft of additional overseeding of the native grass cabin mix to be spread over a time period of three different visits.
- 14. How do we bid the rock as noted in the plant schedule without knowing specifics? Response: Please provide the owner with two different color options of gravel. As long as the size and type requirement is met per plant schedule, gravel rock will be accepted.
- 15. Can you provide more specifics on the boulder wall on the west side of the pickleball courts? Response: Rock wall is intended to be exposed 2'-0" to 2'-6" in height to provide space for trees and for pickleball court to be elevated.

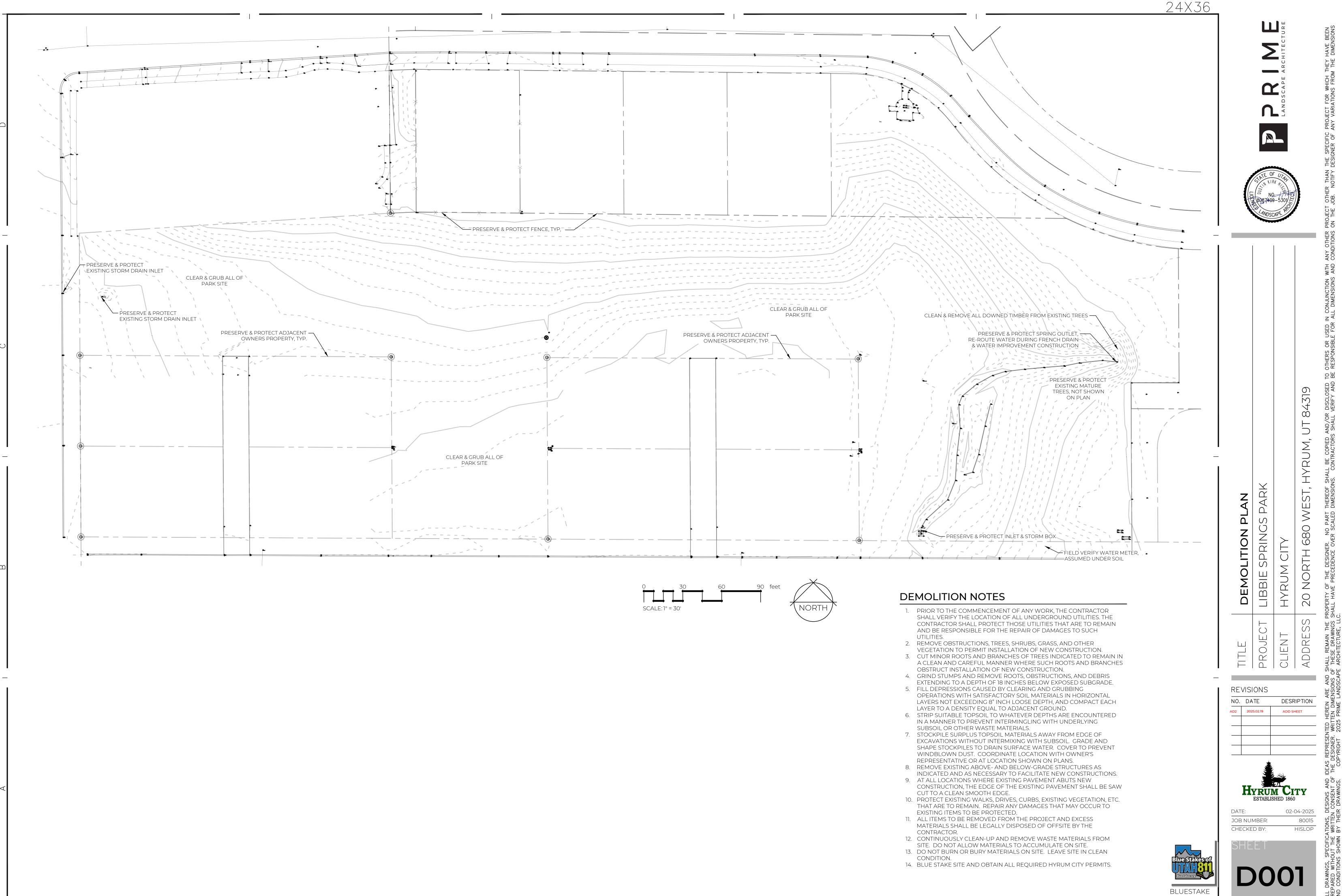
END OF ADDENDUM

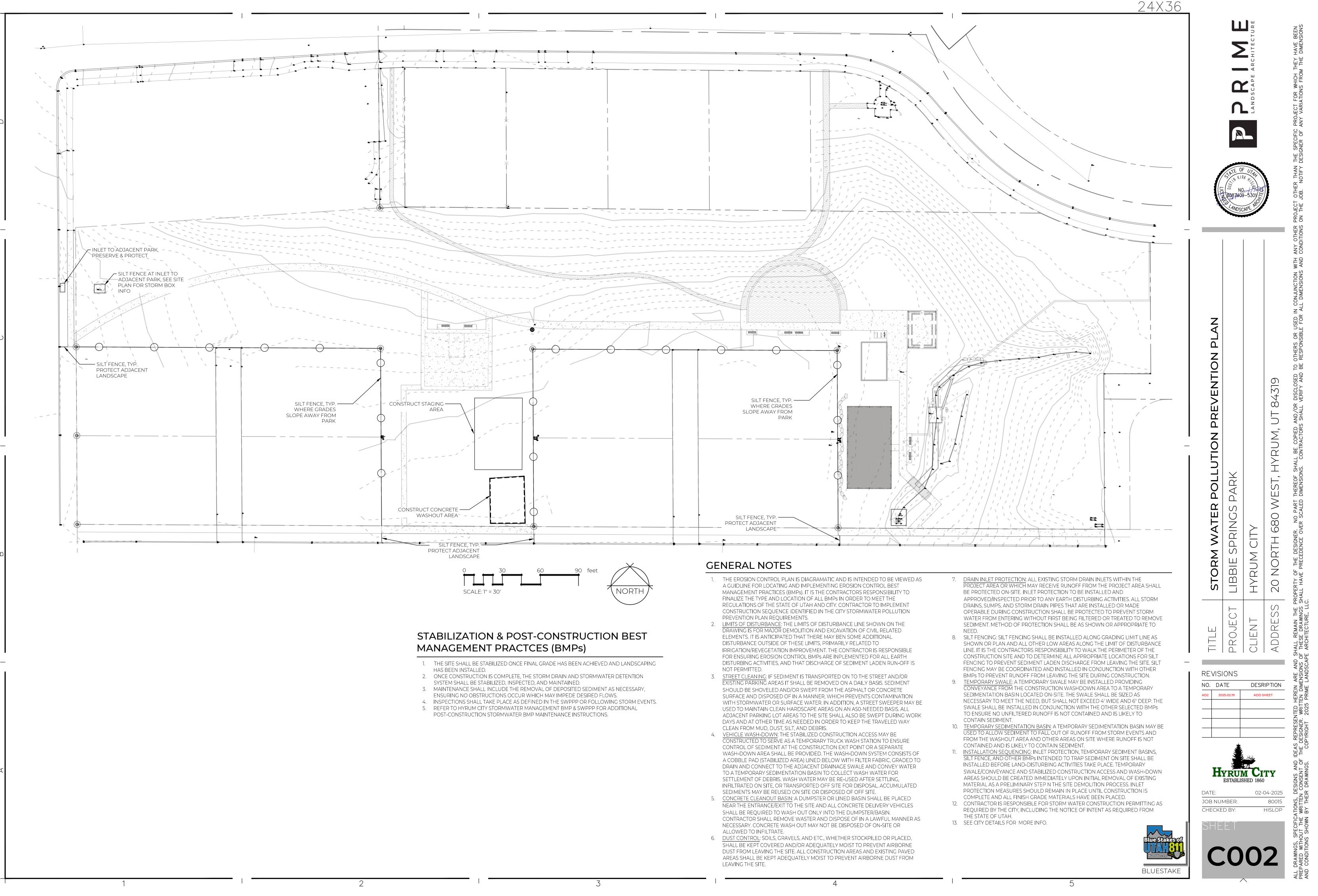
and not detailed.

02.19.2025

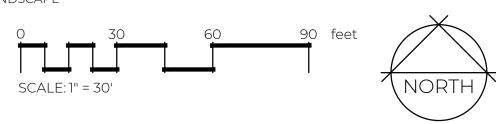
ISSUED BY Landscape Architect Date

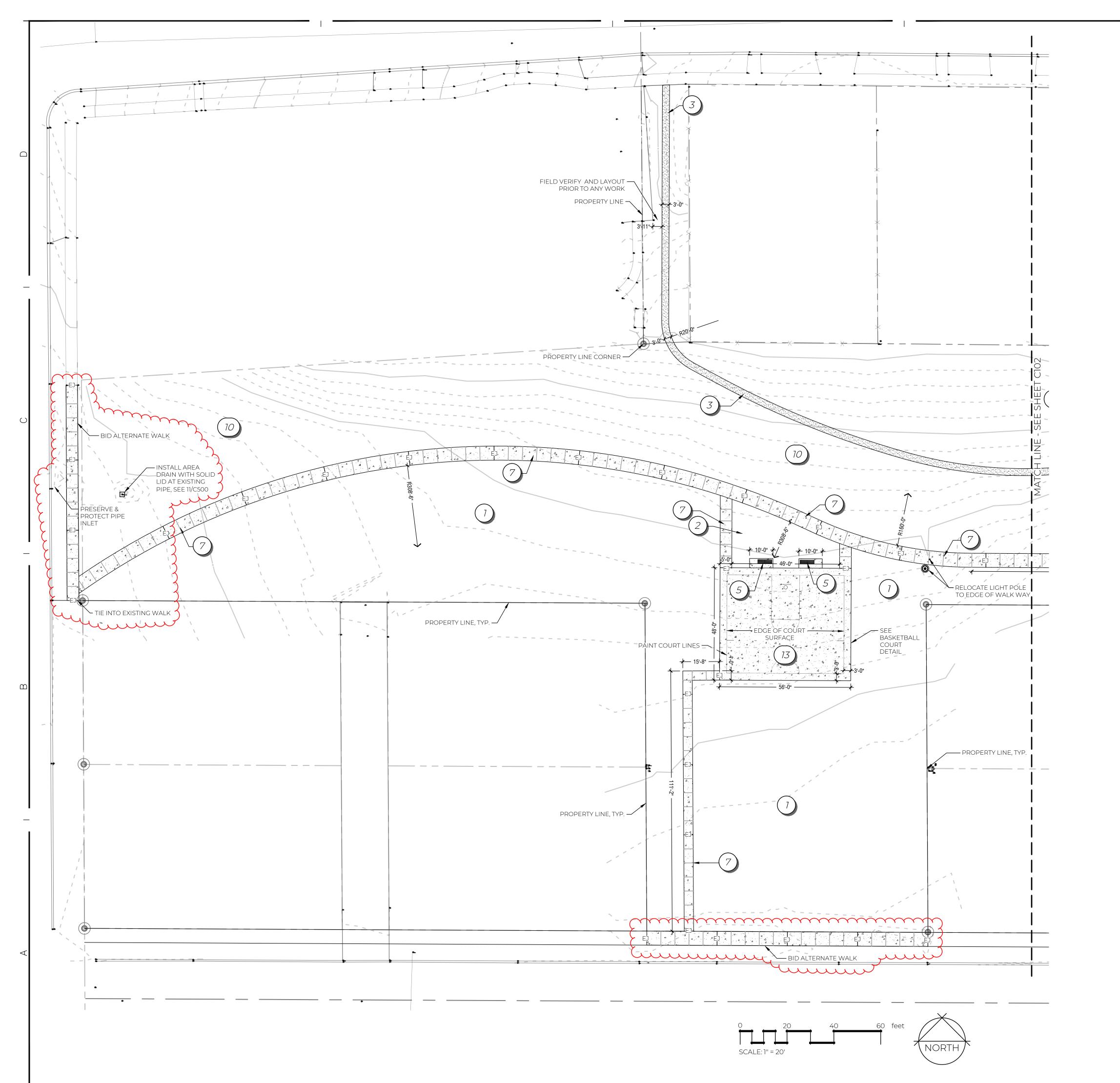
ACCEPTED BY Contractor Date











REFERENCE NOTES SCHEDULE CODE 7.3

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## **GENERAL NOTES**

- 1. THE CONTRACTOR SHALL INSPECT THE SITE & FULL CONSTRUCTION DRAWING SET TO BE FULLY AWARE OF ALL PERTINENT EXISTING CONDITIONS PRIOR TO SUBMITTING BID OR PROPOSAL. 2. NO WORK IS TO BEGIN UNTIL NECESSARY PERMITS HAVE BEEN OBTAINED. IT IS THE
- CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL PERMITS. 3. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY HIS WORK. THE CONTRACTOR SHALL PROTECT THOSE UTILITIES THAT ARE TO REMAIN AND BE RESPONSIBLE FOR THE REPAIR OF DAMAGES TO SUCH UTILITIES.
- 4. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WHEN CONSTRUCTION WORK BEGINS NEAR ANY UTILITY LINES AND ARRANGE FOR A UTILITY REPRESENTATIVE BE PRESENT IF THE CONTRACTOR'S CLOSE OPERATIONS COULD CREATE A HAZARDOUS CONDITION. 5. PLAN IS BASED ON OLD SURVEY AND DOES NOT HAVE RECENT CONSTRUCTION INFORMATION.
- CONTRACTOR TO FIELD VERIFY EVERYTHING. 6. THE CONTRACTOR SHALL PROTECT EXISTING WALKS, DRIVES, CURBS, FENCING ETC. THAT ARE TO REMAIN AND SHALL REPAIR ANY DAMAGE THAT MAY RESULT FROM CONSTRUCTION OPERATIONS. 7. THE LANDSCAPE AND IRRIGATION CONTRACTORS SHALL COORDINATE THEIR WORK WITH ANY OTHER CONTRACTORS AND TRADES WORKING ON THIS PROJECT. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES, ETC. PRIOR TO PAVING AND
- LANDSCAPE WORK. 8. THE CONTRACTOR IS RESPONSIBLE FOR ANY UNAUTHORIZED DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS AND SHALL RESTORE DAMAGED AREAS TO ORIGINAL CONDITIONS AT NO COST TO THE OWNER. 9. CONTRACTOR SHALL BE RESPONSIBLE FOR YARD AND BUILDING CLEANUP AT THE COMPLETION
- OF WORK. 10. COORDINATE ALL EQUIPMENT AND MATERIAL STORAGE LOCATIONS WITH OWNER PRIOR TO MOBILIZING ON SITE.

DETAIL

5/L500

8/L500

9/C500

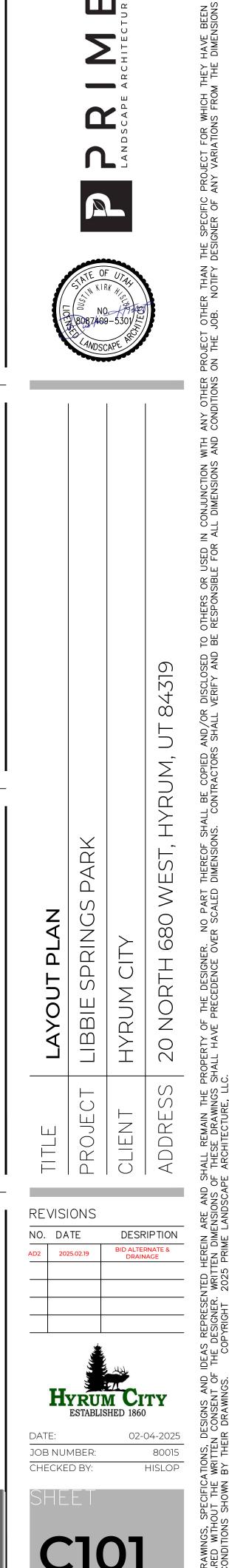
7/C500

Ξ	DESCRIPTION
)	GRASS SOD AREA
	PLANTER BED
	TRAIL

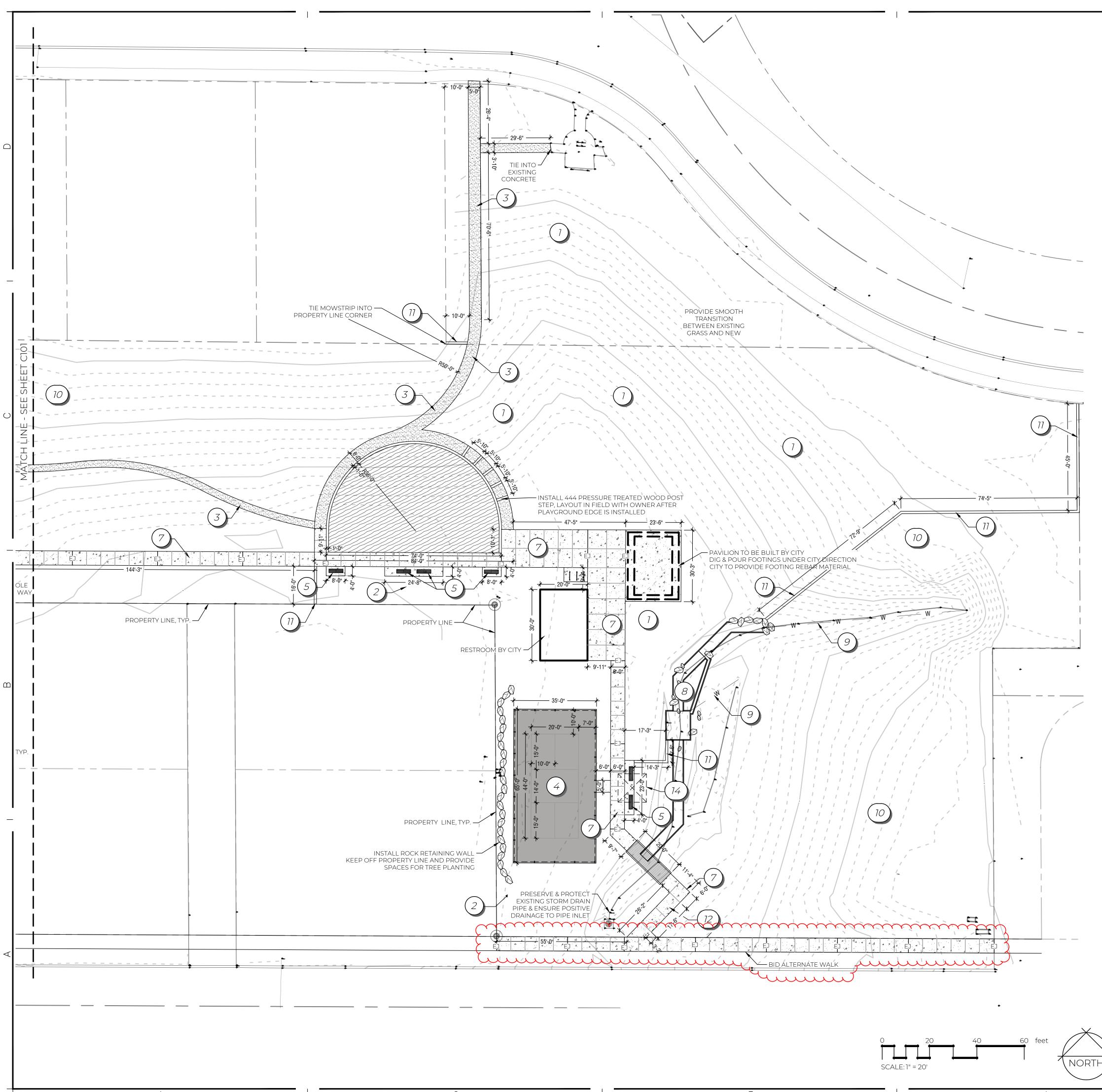
)	ADA APPROVED SURFACE SEE DETAILS & SPECIFICATIONS	·
)	POST TENSION PICKLEBALL COURT, BY OWNER PROVIDE ALL BASE EARTHWORK AND COORDINATE INSTALLATION TIMING WITH OWNER	2/C502
)	BENCH OWNER PROVIDED, CONTRACTOR INSTALLED	
)	CONCRETE WALK	1/C500
)	ENHANCED WATER WAY SEE DETAILS	1/C501
)	BURIED 4" FRENCH DRAIN LINE TO DIRECT SPRING WATER	4/C501
	NATIVE CABIN GRASS SEED SEE SPECIFICATIONS	
)	CONCRETE MOWSTRIP	4/C500
	ADA RAMP	12/C500

CONCRETE BASKETBALL COURT

SUPERIOR SHADE SQUARE CANTILEVER UMBRELLA SHADE MODEL # CU121208IG / OWNER TO SELECT COLOR INSTALL PER MANUFACTURERS RECOMENDATIONS



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# REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL
$\overline{1}$	GRASS SOD AREA	5/L500
$\overbrace{2}$	PLANTER BED	8/L500
3	TRAIL ADA APPROVED SURFACE SEE DETAILS & SPECIFICATIONS	9/C500
4	POST TENSION PICKLEBALL COURT, BY OWNER PROVIDE ALL BASE EARTHWORK AND COORDINATE INSTALLATION TIMING WITH OWNER	2/C502
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$\overline{(7)}$	CONCRETE WALK	1/C500
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(11)	CONCRETE MOWSTRIP	4/C500
$\overbrace{12}$	ADA RAMP	12/C500
13	CONCRETE BASKETBALL COURT	7/C500

SUPERIOR SHADE SQUARE CANTILEVER UMBRELLA SHADE MODEL # CU121208IG / OWNER TO SELECT COLOR INSTALL PER MANUFACTURERS RECOMENDATIONS

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 $\Box$ 

680 WEST,

NORTH

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ADDRESS

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DESRIPTION

02-04-2025

80015 HISLOP

BID ALTERNATE WALK

PARK

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**SPRING** 

LIBBIE

PROJECT

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HYRUM

PLAN

ΑΥΟυΤ

REVISIONS

2025.02.19

HYRUM CITY

ESTABLISHED 186

NO. DATE

DATE:

JOB NUMBER:

CHECKED BY:

