

This Addendum shall be considered part of the bid documents for the above-mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original bid documents. This Addendum shall govern and take precedence. ***Bidders Must acknowledge this addendum on their bids.***

Proposers are hereby notified that they shall make any necessary adjustments in their estimates as a result of this Addendum. It will be construed that each bidder's proposal is submitted with full knowledge of all modifications and supplemental data specified herein.


Except as described below, the original bid documents remain unchanged. The bid documents are modified and/or clarified, As follows:

Items:

- 01.01 Sec 000001
 - Updated Table of Contents
- 01.02 Sec 12100 - Allowances
 - Added section
- 01.03 Section 055133 - Metal Ladders
 - Added section
- 01.04 Section 075600
 - 3.02.A – Added clarification regarding preparation or removal of existing fluid-applied membranes.
- 01.05 G-001
 - Updated Sheet List
- 01.06 A-104
 - Updated General Notes #'s: 11, 16, 21, 22, 24
 - Updated Keynote 07.01
 - Added Keynote 05.03
- 01.07 A-501
 - Updated General Notes #'s: 11, 16, 21, 22, 24
- 01.08 A-502
 - Updated General Notes #'s: 11, 16, 21, 22, 24
- 01.09 A-503
 - Updated General Notes #'s: 11, 16, 21, 22, 24
- 01.10 A-504
 - Updated General Notes #'s: 11, 16, 21, 22, 24

- 01.11 A-505
 - Updated Details B1, B4, C1

- 01.12 A-506
 - Added sheet with ladder details

 Feb 23, 2025

ISSUED BY Date
Architect

PROJECT MANUAL & SPECIFICATIONS



UTAH STATE UNIVERSITY

VET SCIENCE / LARC BUILDING

Re-Roof Project

JAN 2025

**DESIGN
WEST**

**UTAH STATE UNIVERSITY
Vet Science / LARC Building**

Re-Roof Project

LOGAN, UTAH

TABLE OF CONTENTS

INVITATION TO BIDDERS
PROJECT OVERVIEW
SUPPLEMENTAL INSTRUCTIONS TO BIDDERS
BIDDING PROCESS INSTRUCTIONS
PROJECT SCHEDULE
BID FORM

SPECIFICATIONS:

DIVISION 01 USU GENERAL CONDITIONS

- 01 GENERAL PROVISIONS
- 02 OWNER
- 03 CONTRACTOR
- 04 ADMINISTRATION OF THE CONTRACT
- 05 SUBCONTRACTORS
- 06 CONSTRUCTION BY OWNER OR BY SEPARATE CONTRACTORS
- 07 MODIFICATIONS
- 08 PAYMENTS AND COMPLETION
- 09 TESTS AND INSPECTIONS, SUBSTANTIAL AND FINAL COMPLETION, UNCOVERING,
CORRECTION OF WORK AND WARRANTY PERIOD
- 10 PROTECTION OF PERSONS AND PROPERTY
- 11 INSURANCE AND BONDS
- 12 MISCELLANEOUS PROVISIONS
- 13 TERMINATION OR SUSPENSION OF THE CONTRACT

DIVISION 01 PROJECT GENERAL REQUIREMENTS

- 01 1700 - PROJECT CLOSEOUT
- 01 2100 - ALLOWANCES
- 01 2500 - SUBSTITUTION PROCEDURES
- 01 6000 - PRODUCT REQUIREMENTS

DIVISION 05

- 05 5133 - METAL LADDERS

DIVISION 06

- 06 1500 - WOOD DECKING
- 06 6105 - MISCELLANEOUS CARPENTRY

DIVISION 07

- 07 5400 - PREPARATION FOR RE-ROOFING
- 07 5600 - FLUID-APPLIED ROOFING
- 07 5419 - POLYVINYL CHLORIDE MEMBRANE ROOFING
- 07 6200 - SHEET METAL FLASHING AND TRIM
- 07 9200 - JOINT SEALANTS

DIVISION 22

- 22 1426 - ROOF DRAINS

USU PROJECT ANNOUNCEMENT AND INVITATION TO BID

Re-Roof Replacement Project

Date:

February 19, 2025

Item for Bid:

Description of work: removal of existing roofing materials, flashings, mechanical unit screen walls, unused curbs and covers. Modify existing HVAC equipment, conduits and lines as required for new roofing and insulation Provide and install new insulation, PVC membrane, flashings and associated roofing accessories for a complete and weather tight roofing system. Remove all debris and roofing demolition materials as per specifications and local codes.

Bidding Document Location: as directed in the RFP

USU PROJECT – Vet Science Reroof project Attn: Quin Whitaker

Value-Based Selection Criteria:

The selection of contractor for this project will be awarded using the value-based selection method. The following criteria (not listed in order of importance) will be used in the selection criteria:

1. **Schedule** – Delivery schedule, flexibility, and reliability.
2. **Quality of work and service** – Please provide adequate projects completed in the last ten years using this type of system, that will identify your quality of work. For each project provide one copy of a list of references on additional similar projects for a total of three projects.

For projects provide the following information:

Point of Contact: Person who will be able to answer any customer satisfaction questions.
Phone Number: Phone number of the contact we will be surveying.
User Name: Name of Company / Institution that purchased the construction work.
Project Name: Name of the project.
Date Completed: Date when the work was completed.
Address: Street, City and State where the work was performed.
Size: Size of project in dollars.
Duration: Duration of the project/construction in months.
Type: Type of the project (i.e.: School, Offices, Warehouse, etc.)

3. **Cost** - See bidding process instructions below.

4. **Experience** – Overall company experience as well as that of those key individuals assigned to the project with this type of system. The Statement of Qualifications is a *short* document that indicates the experience and qualifications of the firm, the project manager and other critical members of the team. It describes what talents their team brings to the project, how their knowledge of the subject

will provide benefit to the process, how the team has been successful in the past and how that relates to this project. It should include information on similar projects that have been completed by the firm, project manager and other team members. Include the experience and special qualifications that are applicable to this project and/or are part of the project specific selection criteria.

5. **Labor Force** - The Statement of Labor Force is a *short* document or statement that indicates that all labors shall be fully documented employees of the roofing contractor and shall be covered by the contractor's workman's comp and general liability insurance. No temporary labor will be allowed.

6. **Management Plan** - Firms will be required to submit a project schedule. Indicate critical dates and other information in sufficient detail for the selection committee to determine if the time frames are reasonable.

The Management Plan should be concise yet contain sufficient information for evaluation by the selection committee.

Management Plans / Bid Proposals:

Each management plan shall be in the following format (3 sets): *Please keep it simple and concise.*

1. 10 pages or less, 8 1/2" x 11" format on bond paper
2. Single-spaced paragraphs, 12pt. font
3. All pages must be numbered
4. Stapled - not bound

Plans and Project Manual:

Securing Documents: Plans and specifications will be available per RFP and as directed by USU Facilities.

PROJECT OVERVIEW:

The goal of this project is to remove and replace an existing Built-up roof in accordance with the Construction Documents.

SUPPLEMENTAL INSTRUCTIONS TO BIDDERS:

- 1 As this is an occupied university campus, the SAFETY and wellbeing of the employees, students and faculty are the first priority. Any unsafe practices or any inappropriate contact or conduct with the occupants will not be tolerated and will be grounds for immediate removal from the site.
- 2 Time is of the essence. The scope of work for this project requires a compressed, aggressive, organized construction schedule and will require a firm, substantial commitment from all the successful bidders to accomplish the project completion as scheduled.
- 3 Any dust debris control, collection and street sweeping related to each subcontractor's work is the responsibility of the general contractor.

BIDDING PROCESS INSTRUCTIONS:

Before submitting a proposal, bidders shall carefully examine the plans, read the specifications, all addenda and all other bid documents. They shall visit the site of work and shall fully inform

themselves as to all existing conditions and limitations. They shall include in the proposal a sum to cover the cost of all items included in the bid.

The Utah State University reserves the right to reject any or all submittals or to waive any formality or technicality in any submittal in the interest of the State.

PROJECT SCHEDULE:

Work shall be completed as determined at time of notice to proceed to the chosen contractor given the nature and scope of work. *Work shall be completed as scheduled.*

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**SECTION 012100
ALLOWANCES**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Payment and modification procedures relating to allowances.

1.02 RELATED REQUIREMENTS

- A. Section 010000 - General Conditions: Payment and modification procedures.

1.03 ALLOWANCES SCHEDULE

- A. Section 07 5600 - Fluid-applied Roofing: Include the stipulated sum of \$20,000.00 for surface preparation including any removal of existing fluid-applied membranes.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

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**SECTION 055133
METAL LADDERS**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Shop-fabricated metal ladders.
- B. Prefabricated ladders.

1.02 REFERENCE STANDARDS

- A. AAMA 611 - Specification for Anodized Architectural Aluminum; 2024.
- B. ANSI A14.3 - American National Standard for Ladders -- Fixed -- Safety Requirements; 2008 (Reaffirmed 2018).
- C. ASTM A36/A36M - Standard Specification for Carbon Structural Steel; 2019.
- D. ASTM A307 - Standard Specification for Carbon Steel Bolts, Studs, and Threaded Rod 60 000 PSI Tensile Strength; 2021.
- E. SSPC-SP 2 - Hand Tool Cleaning; 2024.

1.03 SUBMITTALS

- A. Shop Drawings:
 - 1. Indicate profiles, sizes, connection attachments, reinforcing, anchorage, size and type of fasteners, and accessories. Include erection drawings, elevations, and details where applicable.
- B. Executed warranty.

1.04 QUALITY ASSURANCE

- A. Design _____ under direct supervision of a Professional Structural Engineer experienced in design of this work and licensed in the State in which the Project is located.

1.05 WARRANTY

- A. See Section 017800 - Closeout Submittals for additional warranty requirements.
- B. Manufacturer Warranty: Provide 5-year manufacturer warranty for material and workmanship. Complete forms in Owner's name and register with manufacturer.

PART 2 PRODUCTS

2.01 MATERIALS - STEEL

- A. Steel Sections: ASTM A36/A36M.
- B. Mechanical Fasteners: Same material or compatible with materials being fastened; type consistent with design and specified quality level.
- C. Bolts, Nuts, and Washers: ASTM A307, plain.

2.02 FABRICATION

- A. Fit and shop assemble items in largest practical sections, for delivery to site.
- B. Fabricate items with joints tightly fitted and secured.
- C. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small uniform radius.
- D. Supply components required for anchorage of fabrications. Fabricate anchors and related components of same material and finish as fabrication, except where specifically noted otherwise.

2.03 PREFABRICATED LADDERS

- A. Prefabricated Ladder: Welded metal unit complying with ANSI A14.3; factory fabricated to greatest degree practical and in the largest components possible.
 - 1. Components: Manufacturer's standard rails, rungs, treads, handrails. returns, platforms and safety devices complying with the requirements of the MATERIALS article of this

section.

2. Materials: Aluminum; 6061 alloy, T6 temper.
3. Finish: Mill finish aluminum.
4. Finish: Manufacturer's standard clear anodized coating, comply with AAMA 611, Class 1.
5. Manufacturers:
 - a. Alaco Ladder Company: www.alacoladder.com/#sle.
 - b. O'Keeffe's Inc: www.okeeffes.com/#sle.
 - c. Precision Ladders, LLC; Fixed Aluminum Wall Ladder: www.precisionladders.com/#sle.
 - d. Substitutions: See Section 016000 - Product Requirements.

2.04 FINISHES - STEEL

- A. Prepare surfaces to be primed in accordance with SSPC-SP2.
- B. Clean surfaces of rust, scale, grease, and foreign matter prior to finishing.
- C. Powder coating: Color selected by architect from manufacturers full range.

2.05 FINISHES - ALUMINUM

- A. Exterior Aluminum Surfaces: Class I natural anodized.
- B. Class I Natural Anodized Finish: AAMA 611 AA-M12C22A41 Clear anodic coating not less than 0.7 mils (0.018 mm) thick.

2.06 FABRICATION TOLERANCES

- A. Squareness: 1/8 inch (3 mm) maximum difference in diagonal measurements.
- B. Maximum Offset Between Faces: 1/16 inch (1.5 mm).
- C. Maximum Misalignment of Adjacent Members: 1/16 inch (1.5 mm).
- D. Maximum Bow: 1/8 inch (3 mm) in 48 inches (1.2 m).
- E. Maximum Deviation From Plane: 1/16 inch (1.5 mm) in 48 inches (1.2 m).

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that field conditions are acceptable and are ready to receive work.

3.02 PREPARATION

- A. Supply setting templates to the appropriate entities for steel items required to be cast into concrete or embedded in masonry.

3.03 INSTALLATION

- A. Install items plumb and level, accurately fitted, free from distortion or defects.
- B. Provide for erection loads, and for sufficient temporary bracing to maintain true alignment until completion of erection and installation of permanent attachments.
- C. Obtain approval prior to site cutting or making adjustments not scheduled.

3.04 TOLERANCES

- A. Maximum Variation From Plumb: 1/4 inch (6 mm) per story, non-cumulative.
- B. Maximum Offset From True Alignment: 1/4 inch (6 mm).
- C. Maximum Out-of-Position: 1/4 inch (6 mm).

END OF SECTION

**SECTION 075600
FLUID-APPLIED ROOFING**

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Fluid-applied roofing materials.
- B. Accessories.

1.02 RELATED REQUIREMENTS

- A. Section 076200 - Sheet Metal Flashing and Trim: Metal parapet covers, copings, and counterflashings.

1.03 REFERENCE STANDARDS

- A. ASTM D412 - Standard Test Methods for Vulcanized Rubber and Thermoplastic Elastomers--Tension; 2016 (Reapproved 2021).
- B. ASTM D2240 - Standard Test Method for Rubber Property--Durometer Hardness; 2015 (Reapproved 2021).

1.04 SUBMITTALS

- A. See Section 013000 - Administrative Requirements for submittal procedures.
- B. Product Data: Provide manufacturer's data for membrane and accessory materials.
- C. Manufacturer's qualification statement.
- D. Warranty: Submit manufacturer warranty and ensure forms have been completed in Owner's name and registered with manufacturer.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacture of fluid-applied roofing or waterproofing systems.

1.06 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials in manufacturer's original containers, dry and undamaged, with seals and labels intact.
- B. Store materials in weather protected environment, clear of ground and moisture.
- C. Ensure storage and staging of materials does not exceed static and dynamic load-bearing capacities of roof decking.

1.07 WARRANTY

- A. See Section 017800 - Closeout Submittals for additional warranty requirements.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Fluid-Applied Roofing:
 - 1. Provide product compatible with any adjacent single-ply membrane roofing from single-ply membrane manufacturer. Product must not void warranty of single-ply membrane.
 - 2. Substitutions: See Section 016000 - Product Requirements.

2.02 MATERIALS

- A. Fluid-Applied Roofing: White, cold-applied; single-component or two-component; polyurethane, solvent-based, asphalt-based, silicone elastomer, water-based acrylic elastomeric, or styrene-ethylene-butylene-styrene (SEBS), approved by manufacturer for permanent exposure to weather and sunlight.

2.03 ACCESSORIES

- A. Flexible Flashing Sheet: Neoprene or other elastic type sheets approved by roofing membrane manufacturer.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify existing conditions prior to starting this work.
- B. Verify substrate surfaces are free of frozen matter, dampness, loose particles, cracks, pits, projections, penetrations, or foreign matter detrimental to adhesion or application of roofing system.
- C. Verify that substrate surfaces are smooth, free of honeycombs or pitting, and not detrimental to full contact bond of roofing materials.
- D. Verify that roof openings, curbs, and items that penetrate surfaces to receive roofing materials are securely and properly installed.

3.02 PREPARATION

- A. Clean and prepare surfaces to receive roofing in accordance with manufacturer's instructions and recommendations. If necessary, remove existing fluid-applied membranes to provide adhesion that will maintain warranty coverage. Adhesion tests should be performed to existing membranes in the event that any membrane, in part or full, is not removed.
- B. Seal cracks and non-moving open joints less than 1/2 inch (12.7 mm) wide with sealant using methods recommended by roofing and sealant manufacturers; do not seal expansion joints or moving joints of any width.
- C. Install cant strips at inside corners, where indicated and where required by roofing manufacturer.
- D. Protect adjacent surfaces not designated to receive roofing.

3.03 INSTALLATION

- A. Install fluid-applied roofing in accordance with manufacturer's instructions and recommendations, to specified minimum thickness.
- B. Apply roofing materials to surfaces that are acceptable to manufacturer.
- C. Installations Over Sealant-Filled Joints: Install an extra coating of roofing material over joints at least 6 inches (152 mm) on each side of joint.
- D. Penetrations: Unless otherwise indicated on drawings, or recommended by roofing manufacturer, seal flexible flashing sheet around penetrations and to roofing substrate prior to installation of roofing material, embedding flashing sheet in one coat of roofing material.
- E. Embedded Flexible Flashing Sheet: Apply full thickness of roofing material over exposed flashing sheet.

3.04 PROTECTION

- A. Protect installed roofing and flashings from construction operations.
- B. Where traffic must proceed over installed roofing materials, protect surfaces using durable materials acceptable to roofing material manufacturer.

END OF SECTION

SHEET INDEX

NOTE: THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT ARE COMPOSED OF SETS OF DRAWINGS AND SPECIFICATIONS, AND THEREFORE SHALL BE USED AND MAINTAINED IN THEIR ENTIRETY. ANY CONTRACTOR, SUBCONTRACTOR, VENDOR OR PARTY PARTICIPATING IN OR BIDDING ON THIS PROJECT SHALL BE EXPECTED TO PERFORM DUE DILIGENCE TO ENSURE THEIR BID, WORK PERFORMED, AND MATERIALS PROVIDED CONFORMS TO THE INFORMATION PROVIDED WITHIN ANY AND ALL SHEETS OF DRAWINGS AND SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO, ANY SUBSEQUENT ADDENDA OR CLARIFICATIONS THAT MAY BE ISSUED RELEVANT TO THEIR SCOPE OF WORK. PROJECT SCOPE MAY BE DEFINED WITHIN SPECIFICATIONS AND/OR DRAWINGS.

ADDITIONALLY, DRAWINGS MAY NOT BE RE-SCALED WHEN PRINTED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE, AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

ANY DEVIATION FROM OR CONFLICT WITHIN THE DRAWINGS AND/OR SPECIFICATIONS, MUST BE SUBMITTED VIA REQUEST FOR INFORMATION (RFI) AND RESPONDED TO BY THE ARCHITECT PRIOR TO BID OR BEFORE CONTINUING THAT PORTION OF WORK.

GENERAL:	
G-001	COVER SHEET
ARCHITECTURAL:	
A-001	REFERENCE
A-002	REFERENCE
A-104	ROOF PLAN
A-501	ROOF PHOTOS
A-502	ROOF PHOTOS
A-503	ROOF PHOTOS
A-504	ROOF PHOTOS
A-505	ROOF DETAILS
A-506	ROOF DETAILS
STRUCTURAL:	
S001	STRUCTURAL NOTES
S010	SCHEDULES
S101	ROOF FRAMING PLAN
S201	TYPICAL DETAILS

AD1

PROJECT INFORMATION



DESIGN TEAM

ARCHITECTURAL

DESIGN WEST ARCHITECTS
255 SOUTH 300 WEST
LOGAN, UT 84321
PHONE: 435.752.7031
kurtl@designwestarchitects.com
KURT LEIKIS

OWNER

UTAH STATE UNIVERSITY
2300 OLD MAIN HILL
LOGAN, UT 84322
PHONE: 435.797.8064
QUIN.WHITAKER@USU.EDU
CONTACT: QUIN WHITAKER

STRUCTURAL

ARW ENGINEERS
1594 WEST PARK CIRCLE
OGDEN, UT 84404
PHONE: 801.782.6008
justinn@arwengineers.com
JUSTIN NASER

ABBREVIATIONS

ABR.	DESCRIPTION	ABR.	DESCRIPTION	ABR.	DESCRIPTION
AB	ANCHOR BOLT	EXIST	EXISTING	PART BD	PARTICLE BOARD
ABS	ACRYLONITRILE-BUTADIENE -STYRENE	EXP	EXPANSION	PARTN	PARTITION
AC	ACOUSTIC, ACOUSTICAL	EXT	EXTERIOR	P-LAM	PLASTIC LAMINATE PLATE
ACC STA	ACCESSIBLE STATION	FD	FLOOR DRAIN	PLYWD	PLYWOOD
AD	ADDENDUM	FDN	FOUNDATION	PREFAB	PREFABRICATED
ADJ	ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PROJ	PROJECTION
AFF	ABOVE FINISH FLOOR	FIN	FINISH	PT	PRESERVATIVE TREATED
ALT	ALTERNATE	FLR	FLOOR	PVC	POLYVINYL CHLORIDE
ALUM	ALUMINUM	FTG	FOOTING	QT	QUARRY TILE
ASI	ARCHITECT SUPPLEMENTAL INSTRUCTION	GA	GAUGE	R/	ROUND
ASPH	ASPHALT	GALV	GALVANIZED	RAD	RADIUS
		GI	GALVANIZED IRON	RD	ROOF DRAIN
		GYP BD	GYP SUM BOARD	REF	REFRIGERATOR
		HDWD	HARDWOOD	REIN	REINFORCE
		HM	HOLLOW METAL	REV	REVISION
		HORIZ	HORIZONTAL	RFI	REQUEST FOR INFORMATION
BD	BOARD	HT	HEIGHT	RO	ROUGH OPENING
BLDG	BUILDING	ID	INSIDE DIAMETER	SCHED	SCHEDULE
BLKG	BLOCKING	INSUL	INSULATION	SHT	SHEET
BM	BENCH MARK	INT	INTERIOR	SIM	SIMILAR
B.O.	BOTTOM OF	JT	JOINT	SPEC	SPECIFICATION
BRG	BEARING	KD	KNOCK DOWN	SQ	SQUARE
B.S.M.T	BASEMENT	KO	KNOCK OUT	SS	STAINLESS STEEL
B.U.R.	BUILT UP ROOF	L	ANGLE	STD	STANDARD
C	CHANNEL	LLV	LONG LEG VERTICAL	STL	STEEL
CB	CHALKBOARD	MAX	MAXIMUM	STOR	STORAGE
C	CENTER LINE	MB	MARKER BOARD	STRUCT	STRUCTURAL
CLG	CEILING	MECH	MECHANICAL	SUSP	SUSPENDED, SUSPENSION
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	SYS	SYSTEM
CO	CLEAN OUT	MH	MANHOLE	T & B	TOP AND BOTTOM
COL	COLUMN	MIN	MINIMUM	TB	TACKBOARD
CONC	CONCRETE	MISC	MISCELLANEOUS	TEMP	TEMPORARY
CONN	CONNECTION	MO	MASONRY OPENING	TEL	TELEPHONE
CONT	CONTINUOUS	MT	MOUNT	THRES	THRESHOLD
CONTR	CONTRACTOR	MTL	METAL	TS	TUBE STEEL
CT	CERAMIC TILE	(N)	NEW	T.O.	TOP OF
d	PENNY	NIC	NOT IN CONTRACT	TOIL	TOILET
DIM	DIMENSION	NTS	NOT TO SCALE	TV	TELEVISION
DS	DOWNSPOUT	O.C.	ON CENTER	TYP	TYPICAL
DWG	DRAWING	OD	OUTSIDE DIAMETER	VERT	VERTICAL
(E)	EXISTING	OH	OVERHEAD	UNLESS NOTED OTHERWISE	
EA	EACH	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED	W	WIDE FLANGE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	OF/OI	OWNER FURNISHED / OWNER INSTALLED	W/	WITH
ELECT	ELECTRICAL	OPNG	OPENING	WC	WATER CLOSET
ELEV	ELEVATION	OPP	OPPOSITE	WD	WOOD
EQ	EQUAL	O.T.S.	OPEN TO STRUCTURE	WM	WATER METER
EQUIP	EQUIPMENT			W/O	WITHOUT
EWC	ELECTRIC WATER COOLER			WWF	WELDED WIRE FABRIC

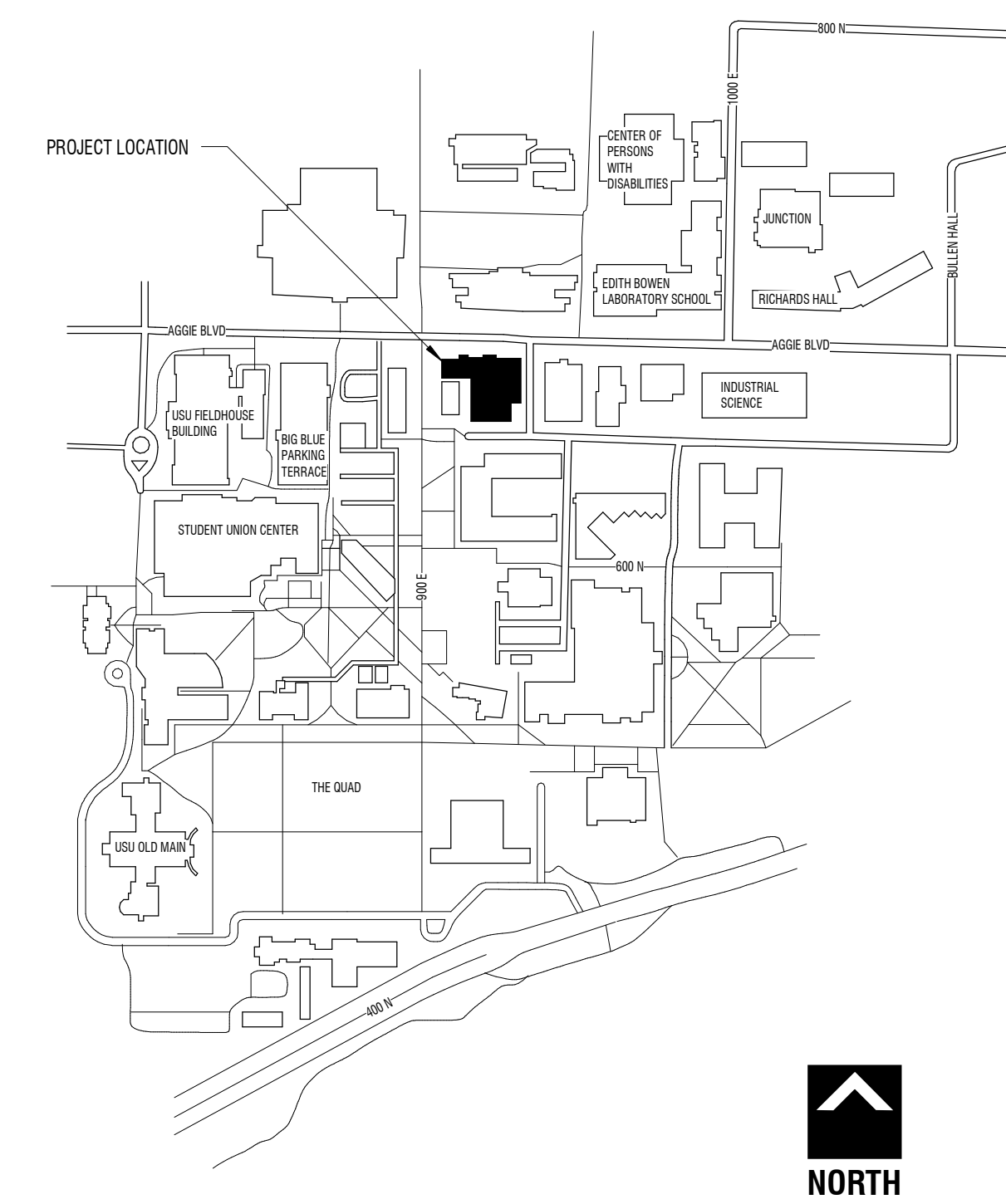
SYMBOLS LEGEND

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
BUILDING SECTION		DRAWING TAG	
WALL SECTION		WINDOW TYPES	
DETAIL		WALL TYPES	
SECTION DETAIL ENLARGED PLAN		DOOR TAG	
ELEVATION LEVEL		KEYNOTES	
ELEVATIONS		REVISIONS	
ROOM TAG		GRID BUBBLE	
ROOM FINISH TAG		EQUIPMENT TAG	
		FINISH TAG	
		NORTH ARROW	

MATERIALS LEGEND

MATERIAL	SYMBOL
EARTH	
ASPHALT PAVING	
COMPACTED GRANULAR FILL	
CONCRETE	
CONCRETE MASONRY UNITS	
BRICK	
STEEL	
CONTINUOUS WOOD	
WOOD BLOCKING	
PLYWOOD / OSB	
PARTICLE BOARD	
INSULATION	
RIGID INSULATION	
GYP SUM BOARD	
GLU-LAMINATE BEAM	
GLASS	
FINISH WOOD	
ALUMINUM	
WOOD STUD WALL	

VICINITY MAP



BID/PERMIT SET

USU - VETERINARY SCIENCE - REROOF
USU CAMPUS
LOGAN, UT 84322
UTAH STATE UNIVERSITY

DESIGN WEST

LOGAN, UT AH
(435) 752-7031
SALT LAKE CITY, UT AH
(801) 539-8221

MARK: AD1
DATE: 02/19/2025
DESCRIPTION: ADDENDUM 01
PROJECT #: 324236
DRAWN BY: H HARRIS
CHECKED BY: K LEIKIS
ISSUED: 12.23.2024



COVER SHEET
G-001

ROOF LEGEND

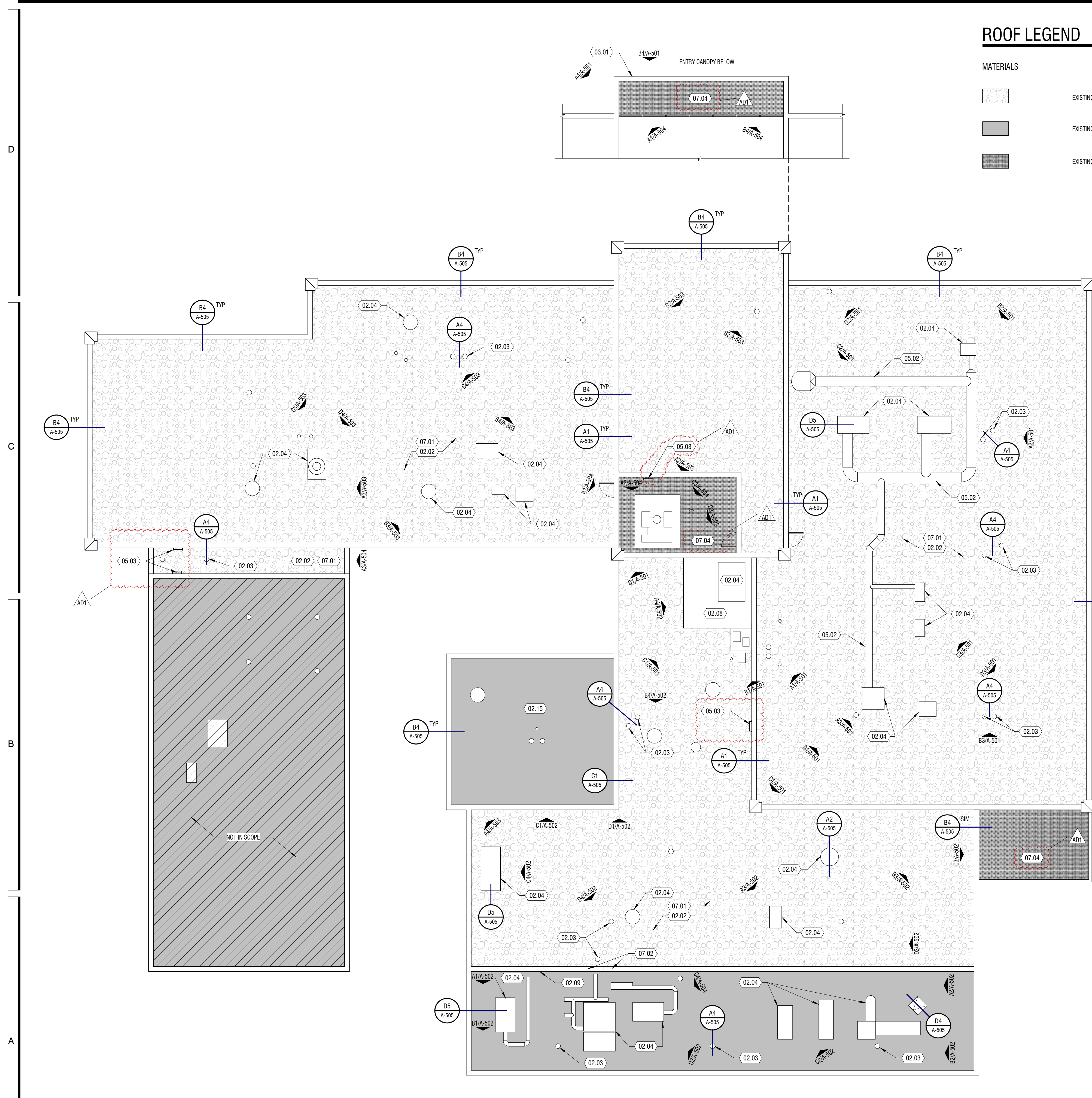
MATERIALS	
	EXISTING BUILT-UP ROOF
	EXISTING SHEET MEMBRANE
	EXISTING LIQUID MEMBRANE

GENERAL NOTES

- KEYNOTES** - THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.
ADDITIONALLY, KEYNOTES RETAIN THEIR ASSIGNED VALUE UNIVERSALLY THROUGHOUT THE SET. THE KEYNOTES LISTED BELOW, REPRESENT THE KEYNOTES FOUND AND UTILIZED ON THIS SHEET AND EACH LIST WILL DIFFER RESPECTIVE TO ITS SHEET. THEREFORE, BASED ON ACTUAL KEYNOTES UTILIZED ON A GIVEN SHEET OF DRAWINGS, GAPS IN THE SEQUENCING WILL OCCUR.
- CONTRACTOR SHALL VERIFY LAY-OUT OF STRUCTURAL, MECHANICAL, AND ELECTRICAL.
- ALL INTERIOR DIMENSIONS ARE TO FROM FACE OF STUD / MASONRY. ALL EXTERIOR DIMENSIONS ARE TO FROM FACE OF GRID FOUNDATION. DIMENSIONS MARKED CLEAR OR CLR ARE FROM FACE OF FINISH TO FACE OF FINISH AND SHALL BE MAINTAINED AND CANNOT BE FIELD ADJUSTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
- PLAN INDICATES MAJOR ROOF PENETRATIONS. THIS DOES NOT REPRESENT ALL PENETRATIONS BY UTILITIES. SEE PAGE 8 OF ROOFING REPORT ON A-002 FOR ADDITIONAL INFORMATION.
- ALL MECHANICAL AND OTHER PENETRATIONS SHALL BE FLASHED ACCORDING TO ROOF MANUFACTURER STANDARDS AND SPECIFICATIONS TO MAINTAIN ROOF MEMBRANE WARRANTY. PENETRATION LOCATIONS TO BE COORDINATED WITH MANUFACTURE PRIOR TO INSTALLATION. PITCH POCKETS ARE NOT ALLOWED. REMOVE ANY UNUSED PITCH POCKETS.
- PROVIDE ELECTROLYSIS SEPARATION BETWEEN DISSIMILAR MATERIAL CONNECTIONS
- CRICKETS SHOWN IN ROOF PLAN MAY NOT BE REFLECTED IN BUILDING SECTIONS OR DETAILS
- ALL FIELDS SLOPE TO ROOF DRAINS. CRICKETS SHOWN ARE FOR GENERAL REFERENCE AND MAY NOT INCLUDE ALL SITUATIONS WHERE CRICKETS ARE REQUIRED. INSTALLER IS RESPONSIBLE TO CRICKET AS REQUIRED TO PREVENT UNNECESSARY BUILD-UP OR DAMMING OF WATER ALONG WALLS, CURBS, ETC.
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KEYNOTES

MARK	DESCRIPTION
02.02	REMOVE EXISTING BUILT UP ROOFING SYSTEM AND INSULATION TO EXISTING DECK - LAYERS VARY. REMOVE EXISTING GRAVEL AND COORDINATE WITH THE OWNER TO DISPOSE AT THEIR GRAVEL PIT. REMOVE ALL REMAINING LAYERS DOWN TO DECK.
02.03	REMOVE AND REPLACE EXISTING DRAINS (ROOF DRAIN RECEIVER) AND DRAIN CAPS (DOMES) WITH NEW CAST IRON DRAIN RECEIVERS AND CAPS. PROVIDE NEW FLASHING CLAMPS. PROVIDE NEW MEMBRANE - SEE A3, A4/A-503 - SALVAGE DRAIN CAPS AND DOMES TO OWNER
02.04	DETACH, LIFT, REATTACH ALL MECHANICAL EQUIPMENT, VENTS, DUCTS, HATCHES, ETC. - EXTEND / LIFT EXISTING MECHANICAL UNIT CURBS, GAS, PIPES, CONDUIT, ELECTRICAL AS REQUIRED TO MEET MINIMUM MANUFACTURERS CLEARANCES. VENTS AND PIPES 3" MIN. - RE-ROOF - REPLACE MANUFACTURED PIPES / CONDUIT SUPPORT SYSTEM AT EXPOSED PIPES / CONDUIT - PROVIDE NEW EXTERIOR WATERPROOF CONDUIT & PIPE SUPPORTS - SEE SHEET A-503 FOR DETAILS
02.08	ASBESTOS IS FOUND IN SILVER PAINT AT ALL PARPET WALLS AND RAISED AREA. SHALL BE ABATED
02.09	DISCONNECT AND REMOVE EXISTING ELECTRICAL SERVICE BOXES AND REATTACH OVER NEW MEMBRANE ON PARAPET
02.15	REMOVE EXISTING SINGLE-PLY MEMBRANE. INSULATION TO EXISTING DECK - LAYERS VARY. PROVIDE STRUCTURAL AND INSULATION UPGRADES AS REQUIRED IN DRAWINGS
03.01	EPOXY REPAIR OF CONCRETE SPALLING. PROVIDE METAL CAP AND FLASHING
05.02	EXTEND DUCT SUPPORT STANDS TO STRUCTURE DECKING
05.03	PROVIDE PRE-FABRICATED ALUMINUM LADDERS OR FABRICATED STEEL LADDER - SEE A-506 FOR DETAILS
07.01	PROVIDE NEW SINGLE-PLY MEMBRANE AND RIGID R-30 POLYISO INSULATION - GLUE DOWN FULLY ADHERED SYSTEM - EXTEND MEMBRANE UP UNDER PARAPET CAP / EXPANSION JOINT WHERE POSSIBLE - PROVIDE TAPERED INSULATION TO ALLOW FOR DRAINAGE WHERE SLOPED STRUCTURE DOES NOT OCCUR OR CRICKETS ARE REQUIRED.
07.02	NEW SINGLE PLY MEMBRANE TO CONTINUE ON PARAPET FACES. ADHERE COVER BOARD TO EXISTING CMU AND ADHERE MEMBRANE TO BOARD FACE.
07.04	PROVIDE NEW LIQUID-APPLIED MEMBRANE. REMOVE EXISTING OR PERFORM ADHESION TEST TO A CLEAN PORTION TO ASSURE PROPER BONDING



A1 ROOF PLAN

3/32" = 1'-0"

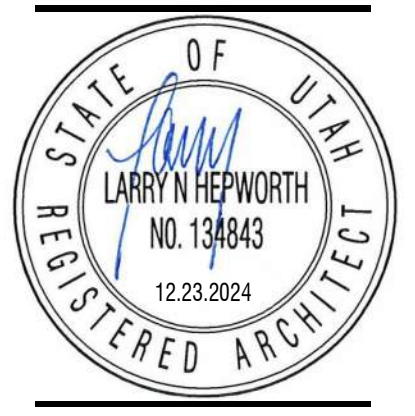


DESIGN WEST
 LOGAN, UTAH
 (435) 752-7031
 SALT LAKE CITY, UTAH
 (801) 539-8221

USU - VETERINARY SCIENCE - REROOF
 USU CAMPUS
 LOGAN, UT 84322
 UTAH STATE UNIVERSITY

MARK	DESCRIPTION	DATE
AD1 <td>ADDENDUM 01 <td>02/19/2025</td> </td>	ADDENDUM 01 <td>02/19/2025</td>	02/19/2025

PROJECT #: 324236
 DRAWN BY: H HARRIS
 CHECKED BY: K LEIKIS
 ISSUED: 12.23.2024



ROOF PLAN
A-104
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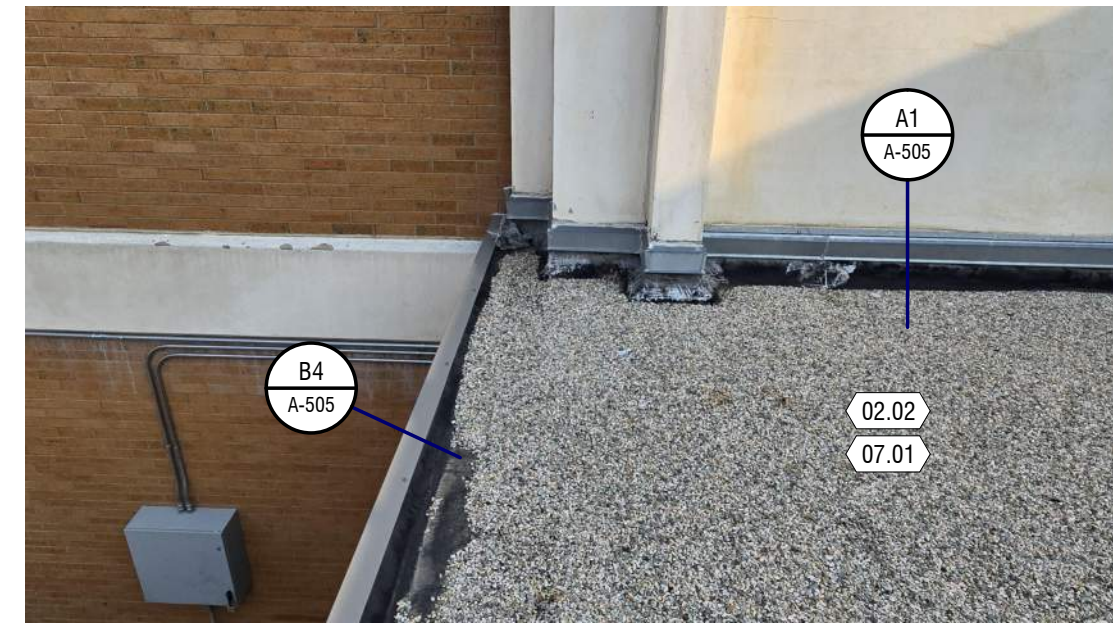
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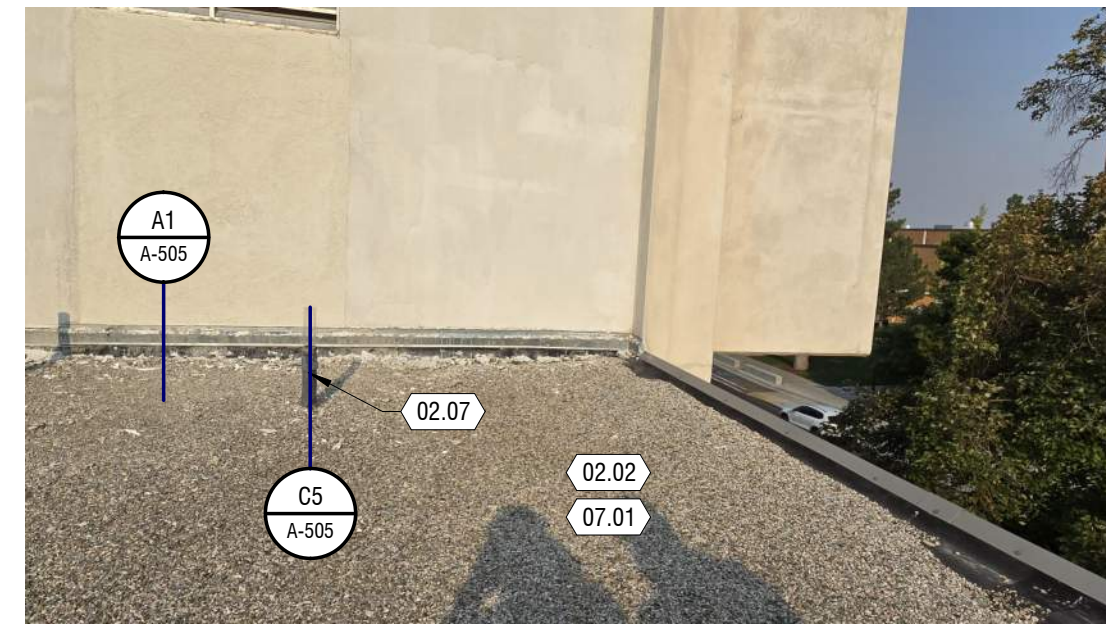
KEYNOTES #

MARK	DESCRIPTION
02.01	REMOVE EXISTING METAL FLASHING, FASCIA AND COUNTER FLASHING - SEE NOTE 05.01
02.02	REMOVE EXISTING BUILT UP ROOFING SYSTEM AND INSULATION TO EXISTING DECK - LAYERS VARY. REMOVE EXISTING GRAVEL AND COORDINATE WITH THE OWNER TO DISPOSE AT THEIR GRAVEL PIT. REMOVE ALL REMAINING LAYERS DOWN TO DECK.
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02.05	EXISTING ROOFING SYSTEM SAMPLE - SEE SHEET A-504
02.07	EXISTING VENT PIPE - TO REMAIN
02.08	ASBESTOS IS FOUND IN SILVER PAINT AT ALL PARPET WALLS AND RAISED AREA. SHALL BE ABATED
02.09	DISCONNECT AND REMOVE EXISTING ELECTRICAL SERVICE BOXES AND REATTACH OVER NEW MEMBRANE ON PARAPET
03.01	EPOXY REPAIR OF CONCRETE SPALLING. PROVIDE METAL CAP AND FLASHING
05.01	PROVIDE NEW METAL FLASHING, FASCIA AND COUNTER FLASHING AT PARAPETS AND ROOF EDGES - COLOR TBD - ARCHITECT TO APPROVE SAMPLE - SEE ?/A-507 - FIELD VERIFY TYPES AND PROFILES
05.02	EXTEND DUCT SUPPORT STANDS TO STRUCTURE DECKING
07.01	PROVIDE NEW SINGLE PLY MEMBRANE AND RIGID R-30 POLYISO INSULATION - GLUE DOWN FULLY ADHERED SYSTEM - EXTEND MEMBRANE UP UNDER PARAPET CAP EXPANSION JOINT WHERE POSSIBLE - PROVIDE TAPERED INSULATION TO ALLOW FOR DRAINAGE WHERE SLOPED STRUCTURE DOES NOT OCCUR OR CRICKETS ARE REQUIRED.
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D1 REFERENCE IMAGE

NTS



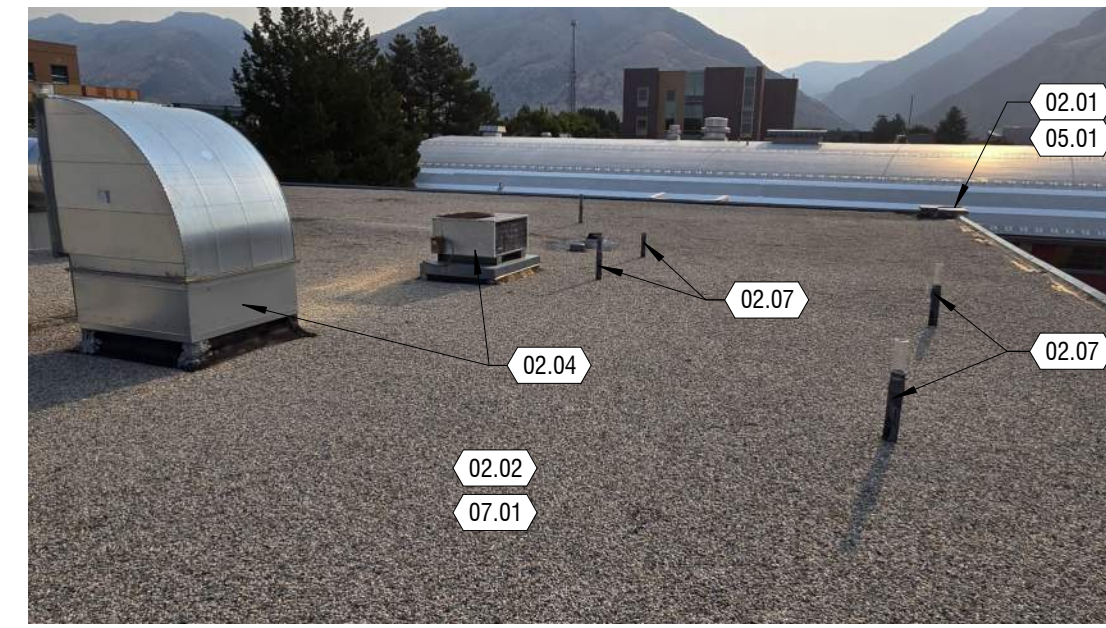
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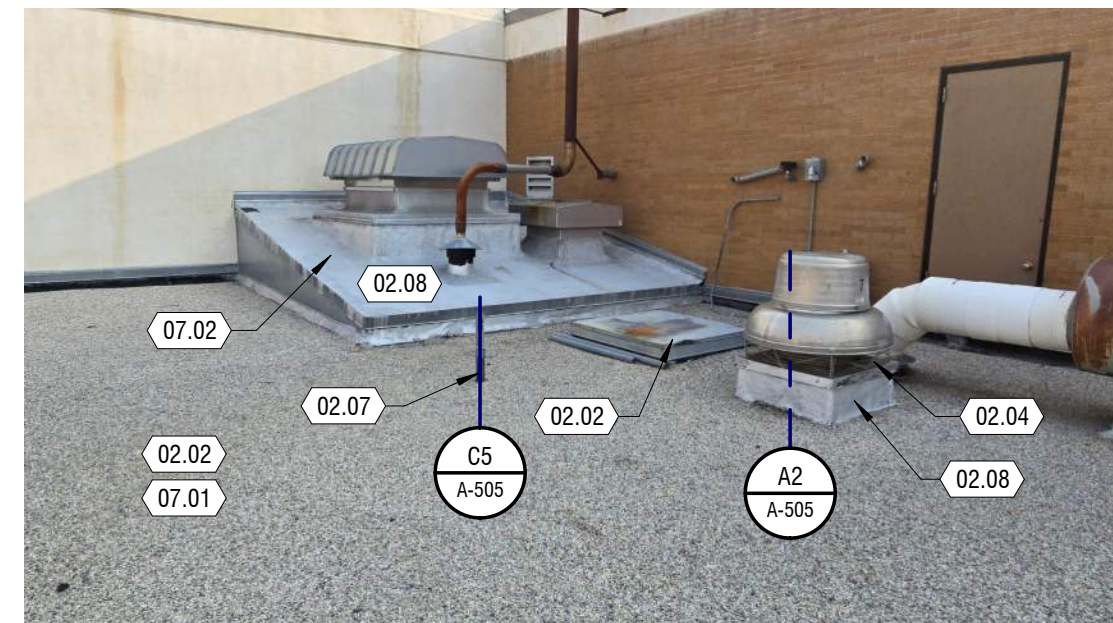
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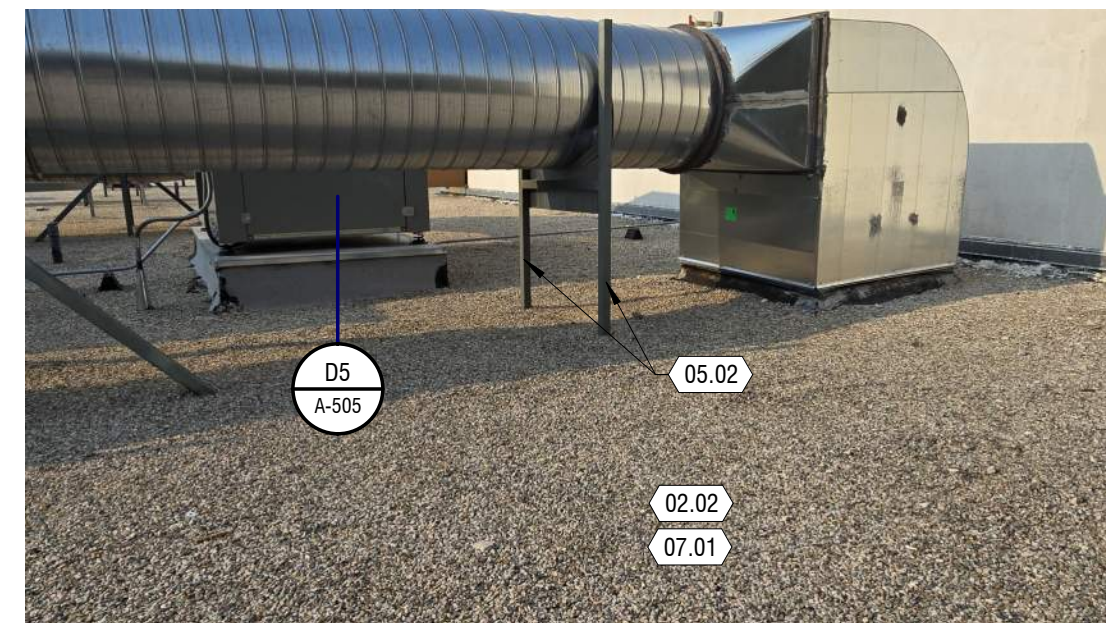
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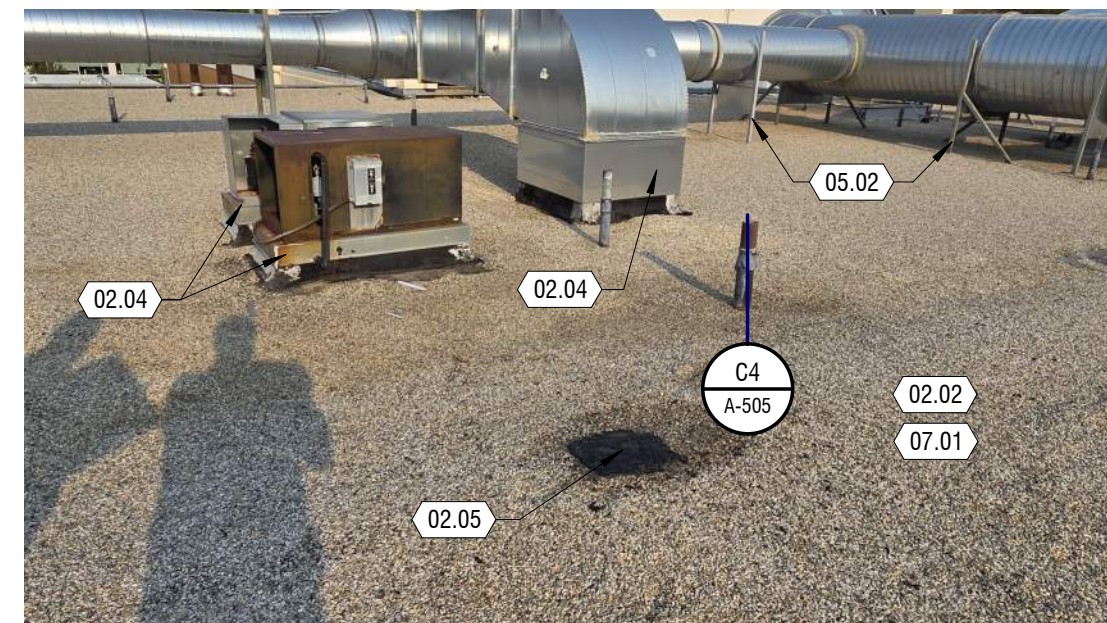
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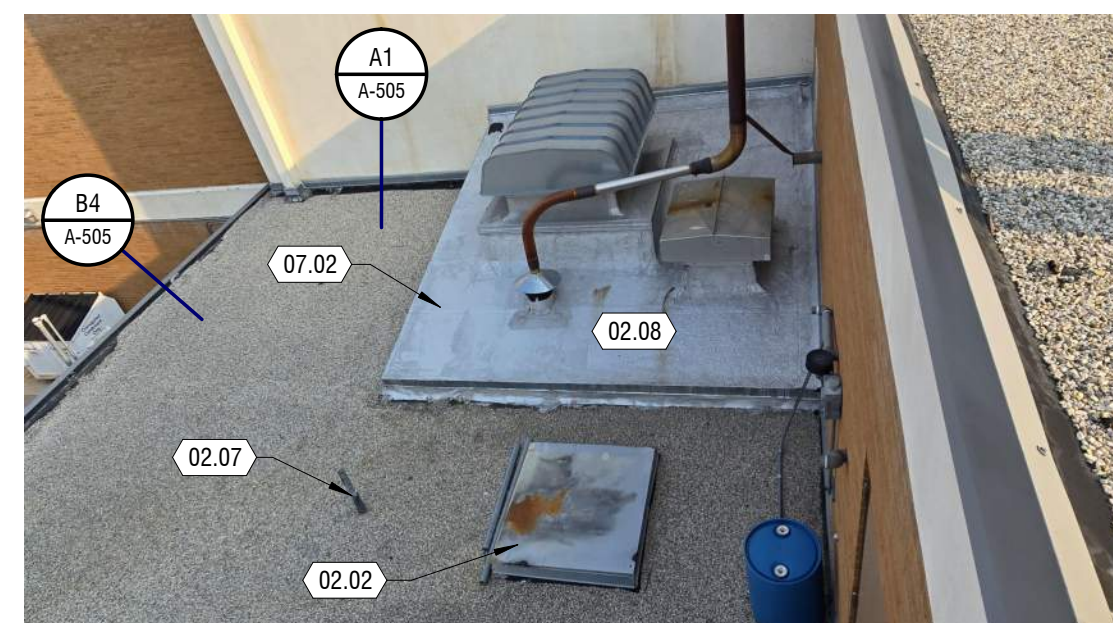
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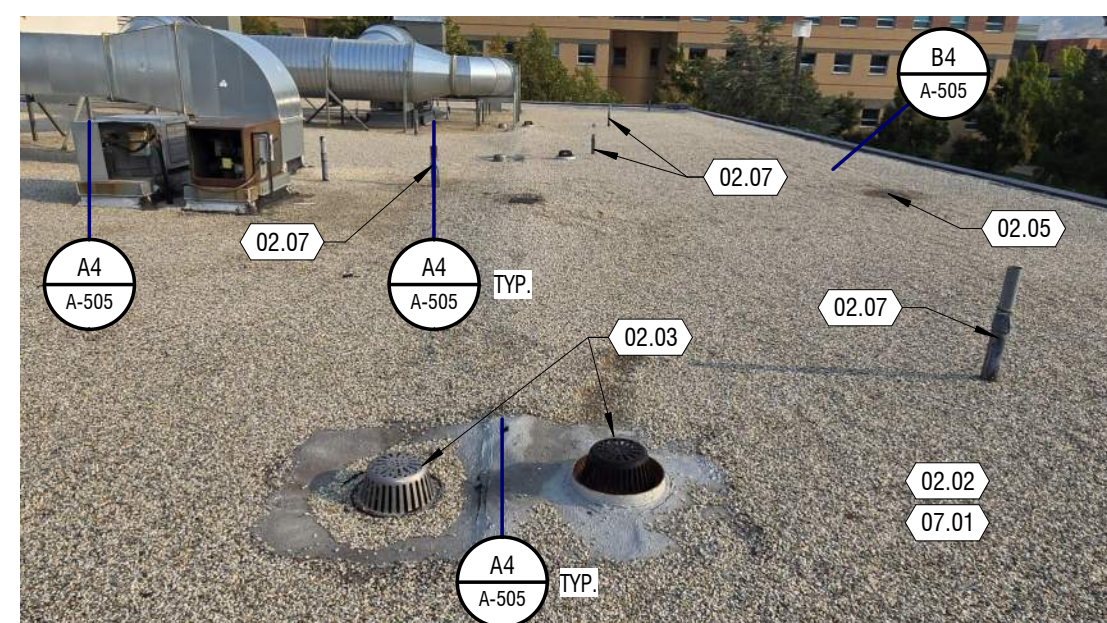
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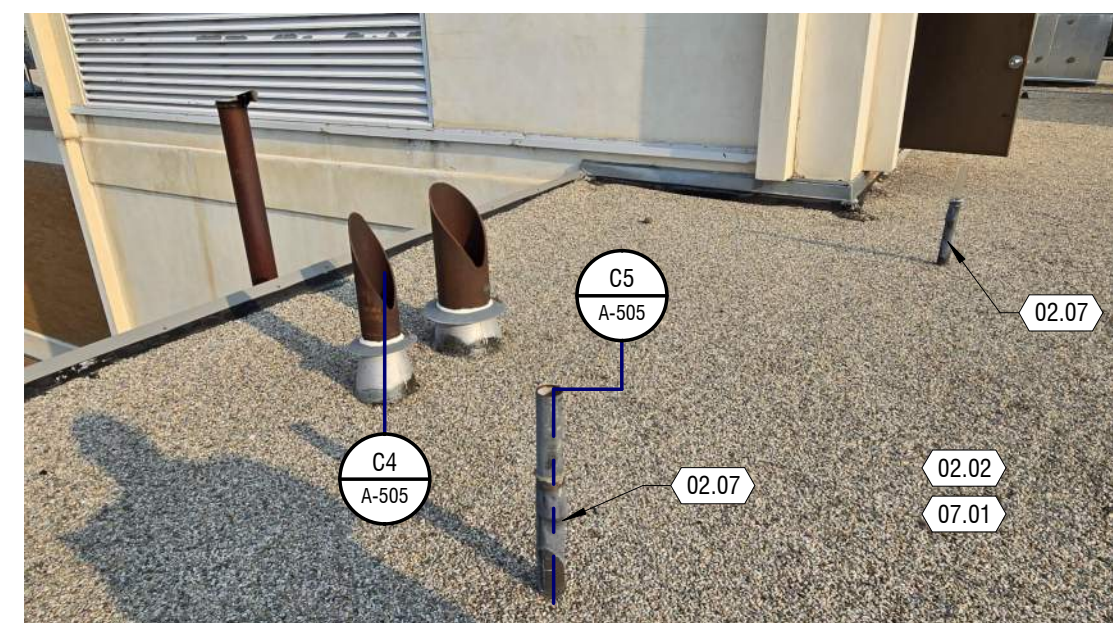
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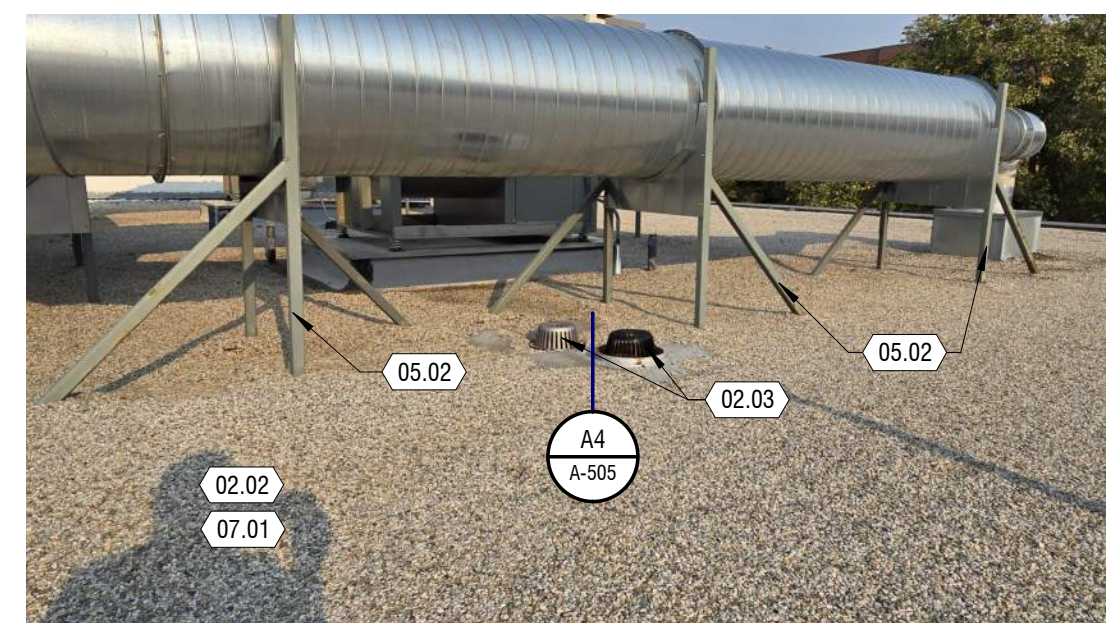
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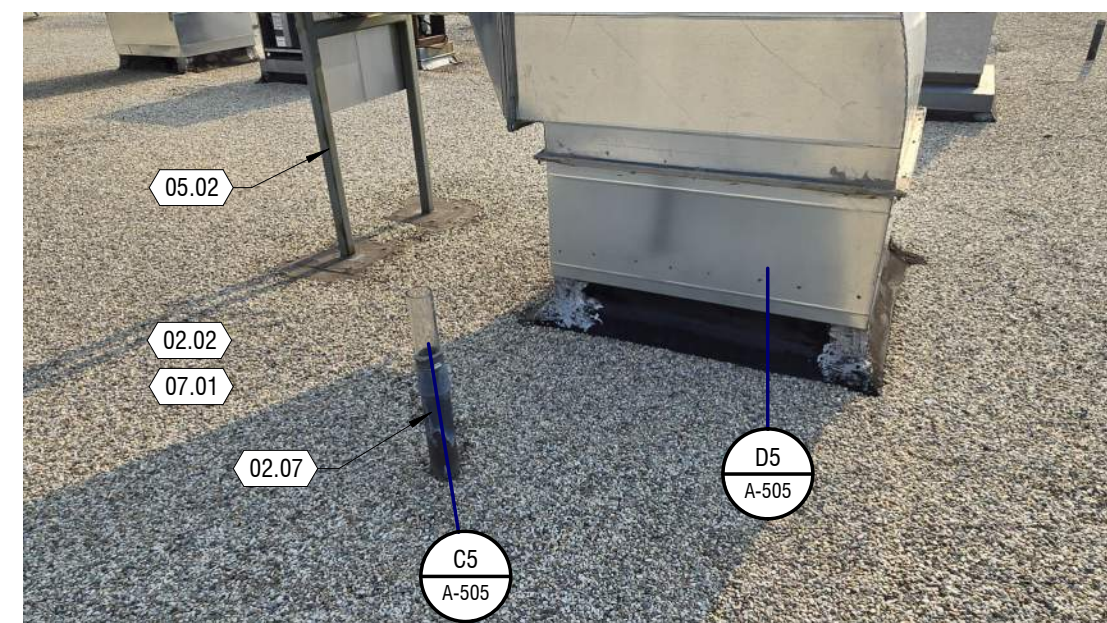
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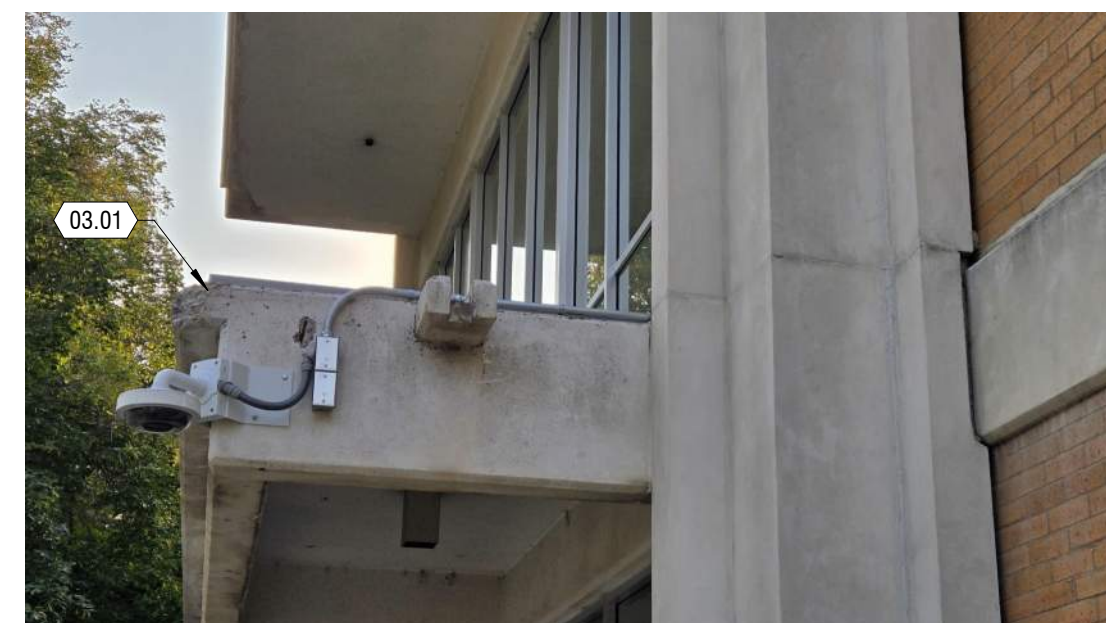
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A3 REFERENCE IMAGE

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A4 REFERENCE IMAGE

NTS

MARK: A-D1

PROJECT #: 324236
DRAWN BY: H HARRIS
CHECKED BY: K LEIKS
ISSUED: 12.23.2024



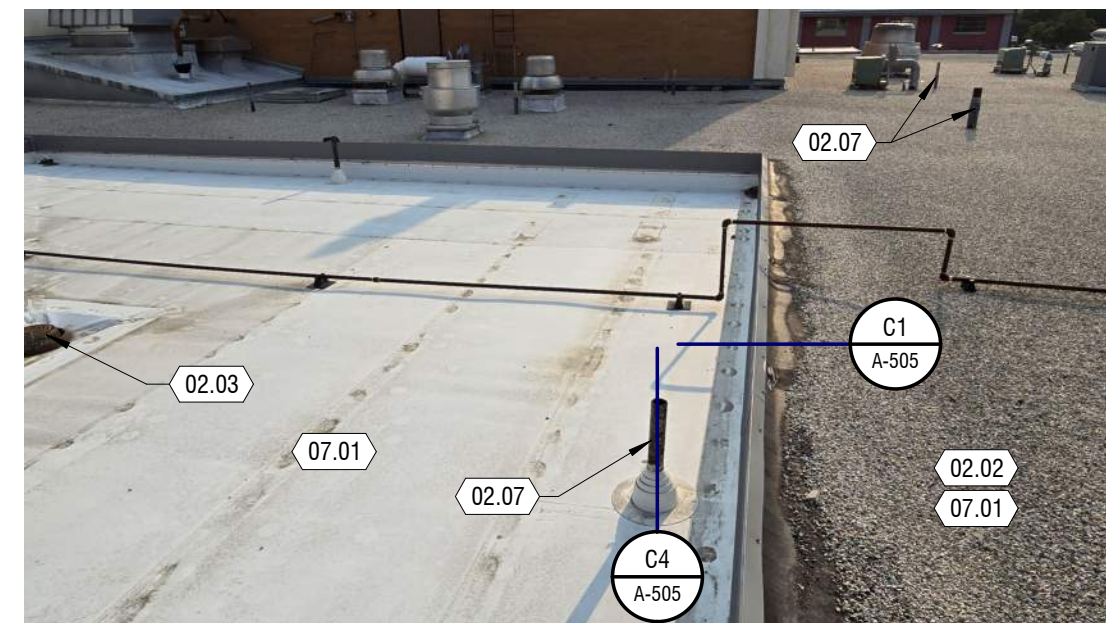
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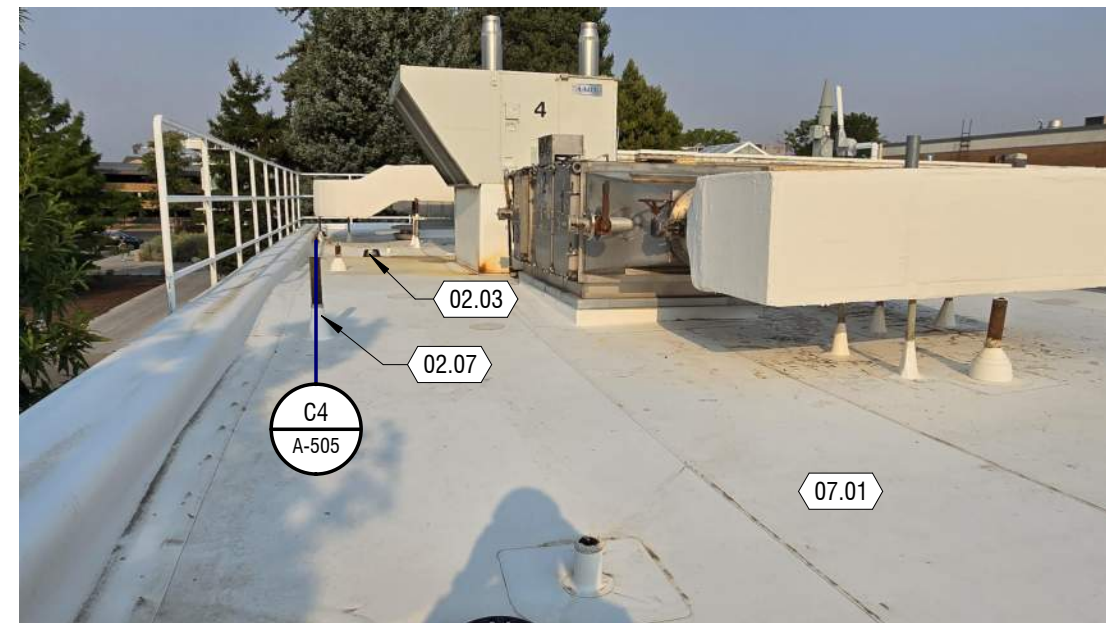
KEYNOTES

MARK	DESCRIPTION
02.02	REMOVE EXISTING BUILT UP ROOFING SYSTEM AND INSULATION TO EXISTING DECK - LAYERS VARY. REMOVE EXISTING GRAVEL AND COORDINATE WITH THE OWNER TO DISPOSE AT THEIR GRAVEL PIT. REMOVE ALL REMAINING LAYERS DOWN TO DECK.
02.03	REMOVE AND REPLACE EXISTING DRAINS (ROOF DRAIN RECEIVER) AND DRAIN CAPS (DOMES) WITH NEW CAST IRON DRAIN RECEIVERS AND CAPS. PROVIDE NEW FLASHING CLAMPS. PROVIDE NEW MEMBRANE - SEE A3, A4/A-503 - SALVAGE DRAIN CAPS AND DOMES TO OWNER
02.04	DETACH, LIFT, REATTACH ALL MECHANICAL EQUIPMENT, VENTS, DUCTS, HATCHES, ETC. - EXTEND / LIFT EXISTING MECHANICAL UNIT CURBS, GAS, PIPES, CONDUIT, ELECTRICAL AS REQUIRED TO MEET MINIMUM MANUFACTURERS CLEARANCES. VENTS AND PIPES 8" MIN. - RE-ROOF - REPLACE MANUFACTURED PIPE / CONDUIT SUPPORT SYSTEM AT EXPOSED PIPES / CONDUIT - PROVIDE NEW EXTERIOR WATERPROOF CONDUIT & PIPE SUPPORTS - SEE SHEET A-503 FOR DETAILS
02.06	REMOVE EXISTING ROOF HATCH ALONG WITH COUNTERFLASHING - SEE DETAIL D4/A-503
02.07	EXISTING VENT PIPE - TO REMAIN
02.08	ASBESTOS IS FOUND IN SILVER PAINT AT ALL PARPET WALLS AND RAISED AREA. SHALL BE ABATED
07.01	PROVIDE NEW SINGLE-PLY MEMBRANE AND RIGID R-30 POLYISO INSULATION - GLUE DOWN FULLY ADHERED SYSTEM - EXTEND MEMBRANE UP UNDER PARAPET CAP / EXPANSION JOINT WHERE POSSIBLE - PROVIDE TAPERED INSULATION TO ALLOW FOR DRAINAGE WHERE SLOPED STRUCTURE DOES NOT OCCUR OR CRICKETS ARE REQUIRED.
07.02	NEW SINGLE PLY MEMBRANE TO CONTINUE ON PARAPET FACES. ADHERE COVER BOARD TO EXISTING CMU AND ADHERE MEMBRANE TO BOARD FACE
07.04	PROVIDE NEW LIQUID-APPLIED MEMBRANE. REMOVE EXISTING OR PERFORM ADHESION TEST TO A CLEAN PORTION TO ASSURE PROPER BONDING



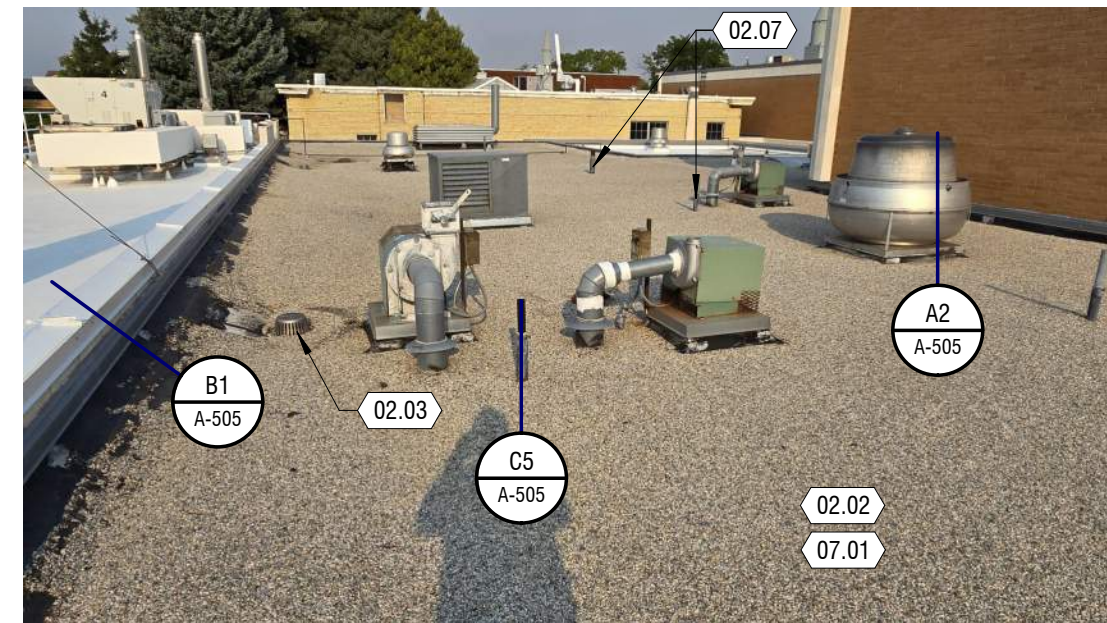
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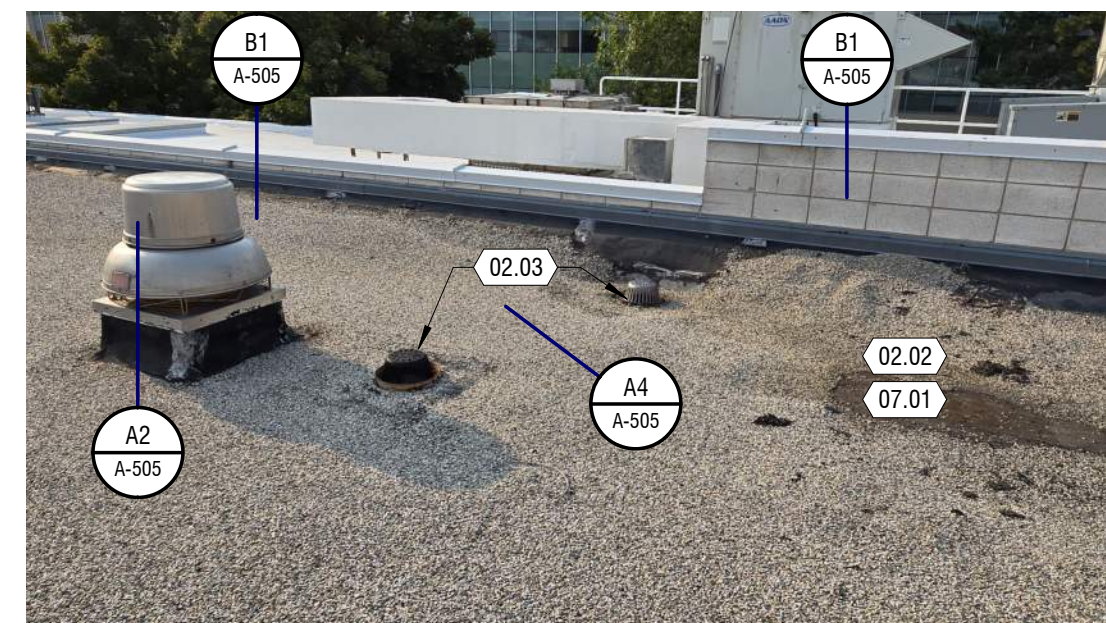
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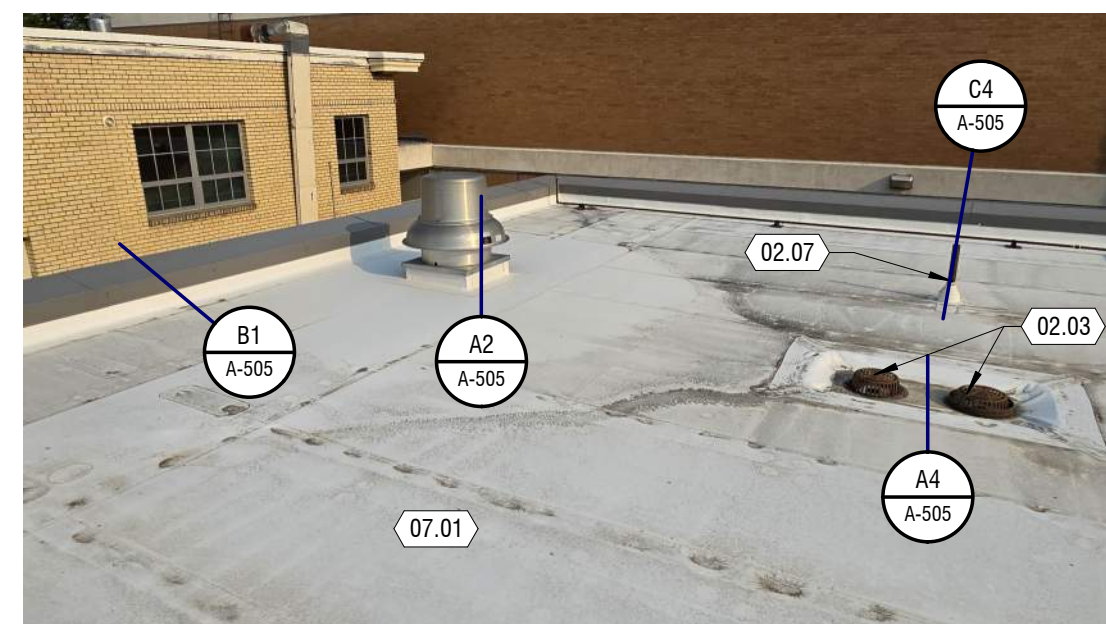
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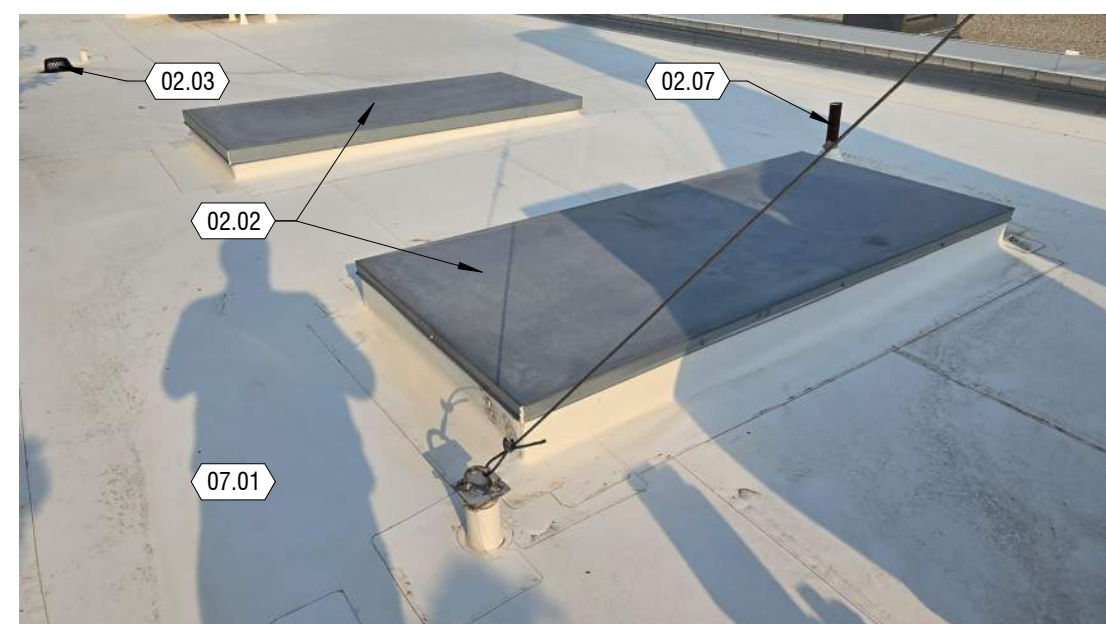
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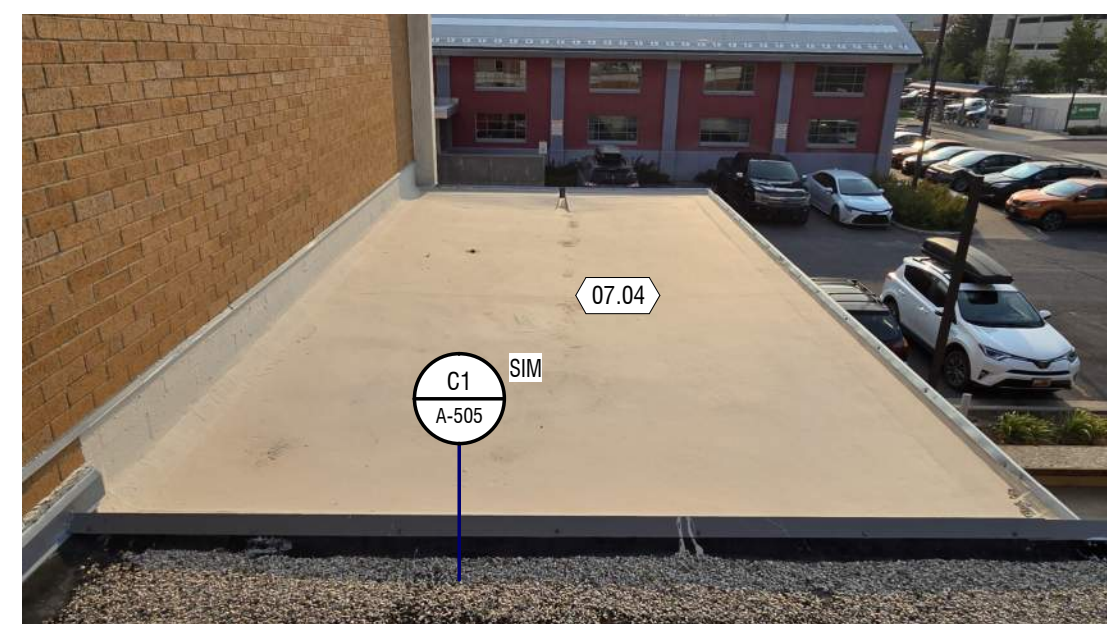
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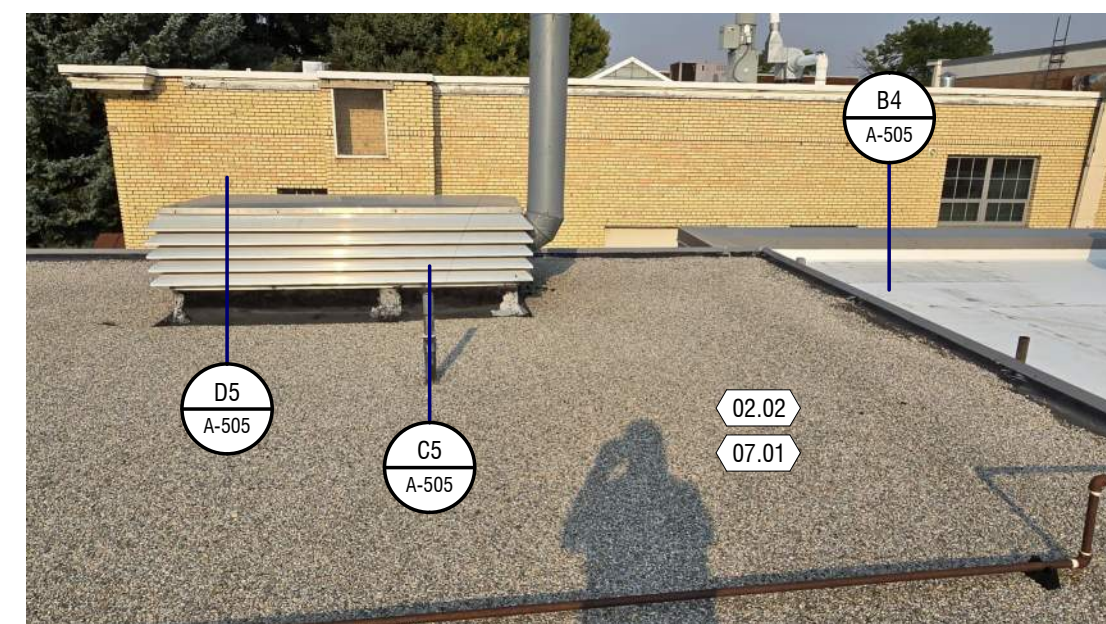
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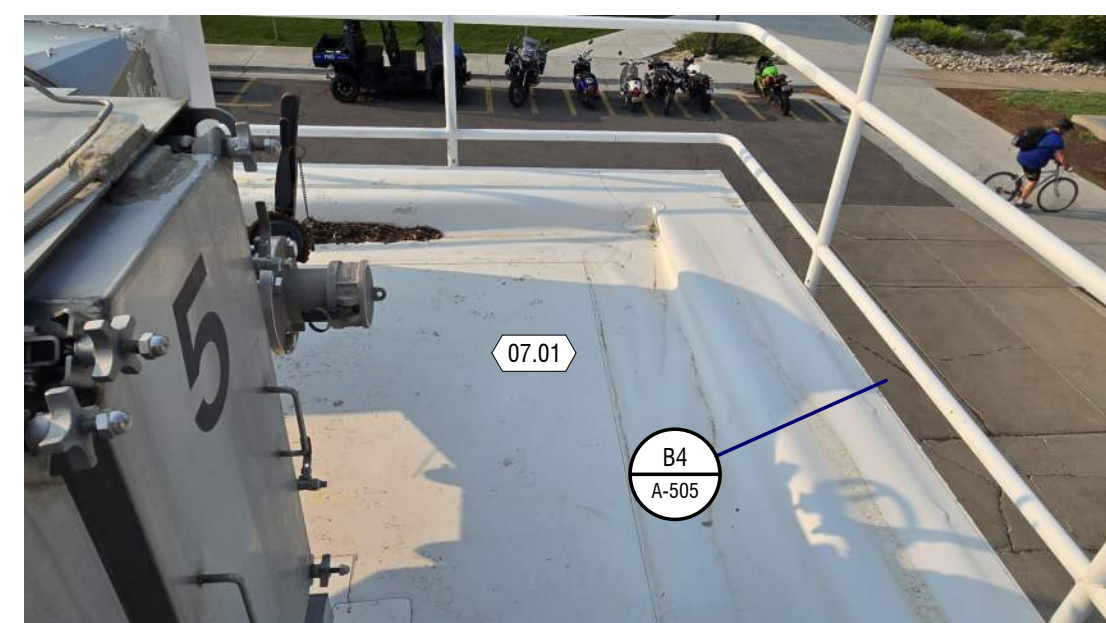
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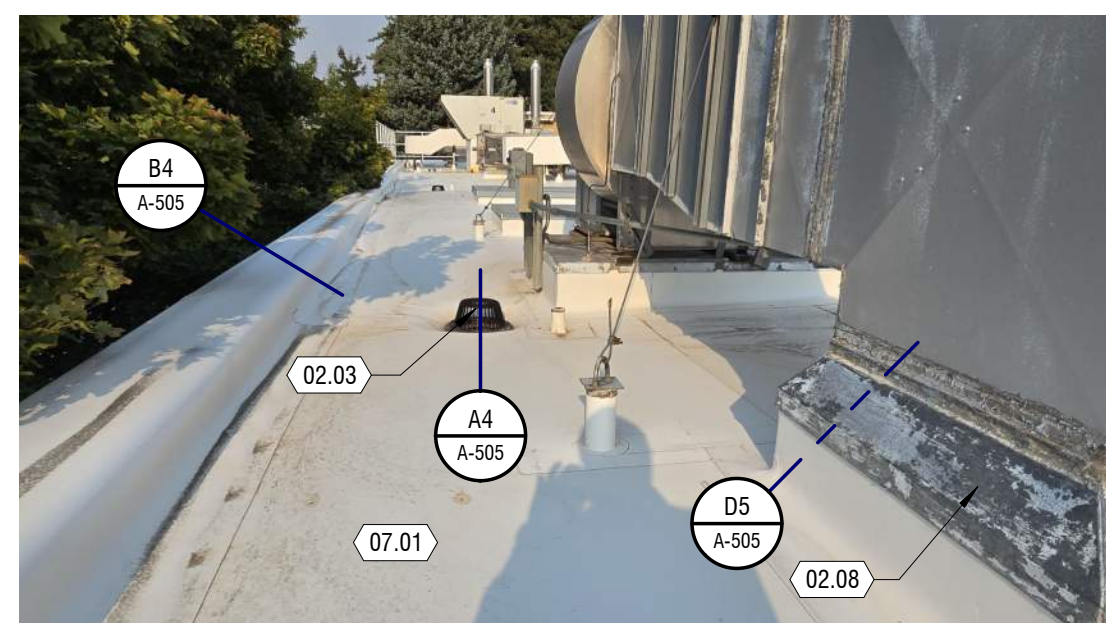
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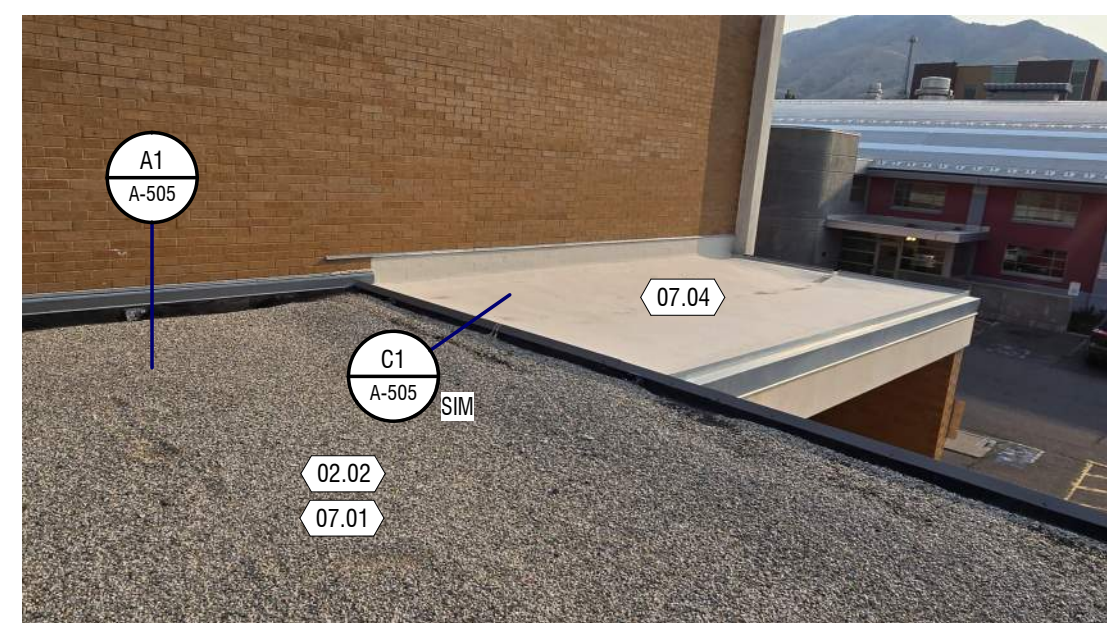
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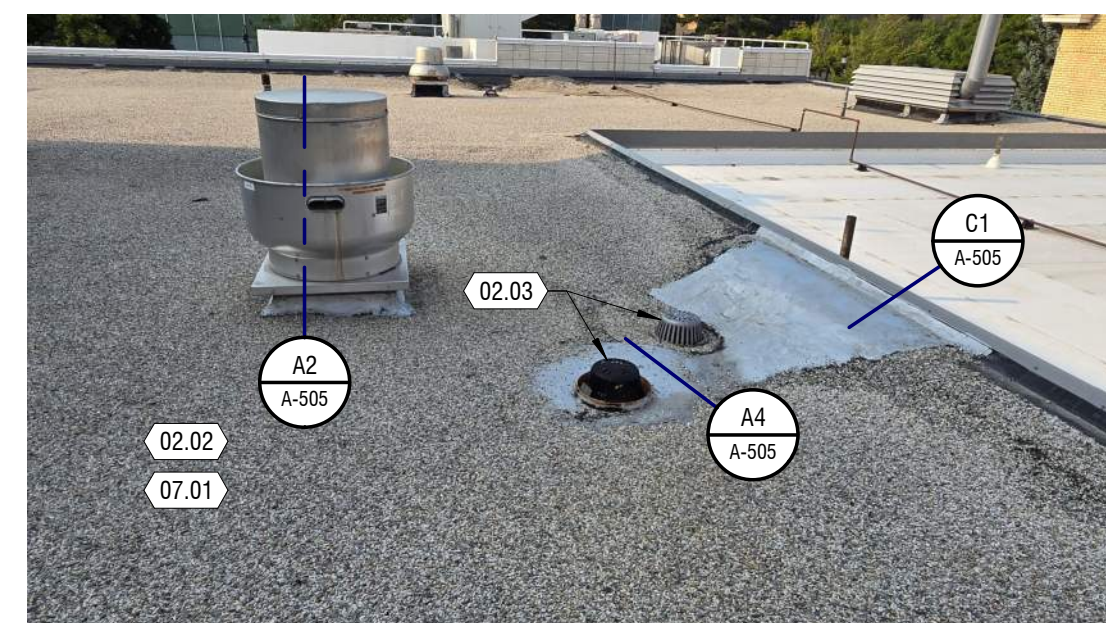
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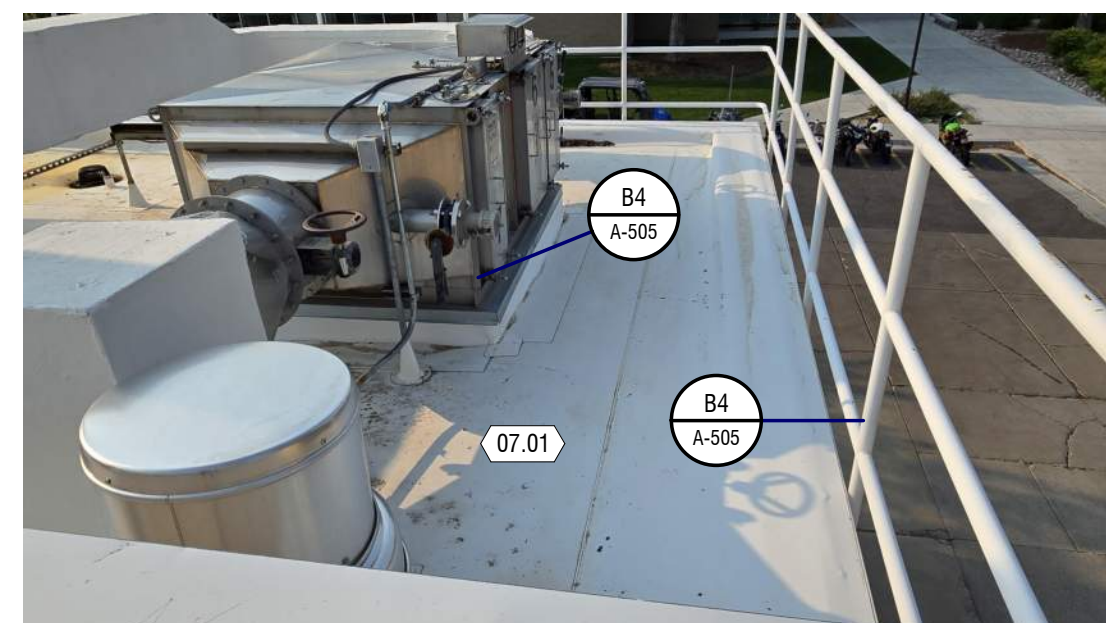
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B4 REFERENCE IMAGE

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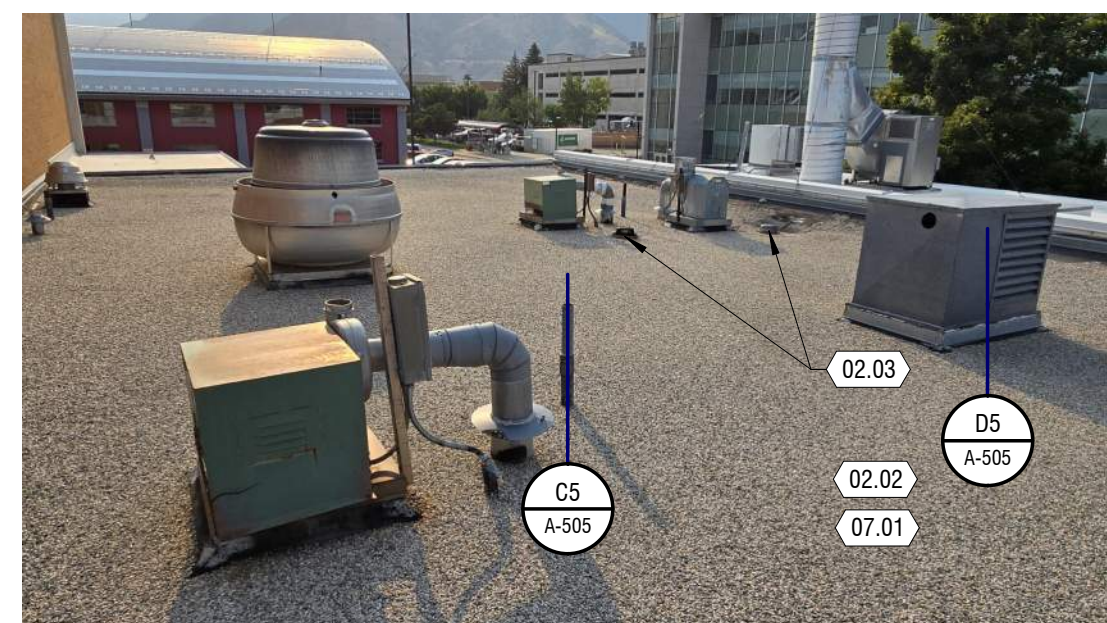
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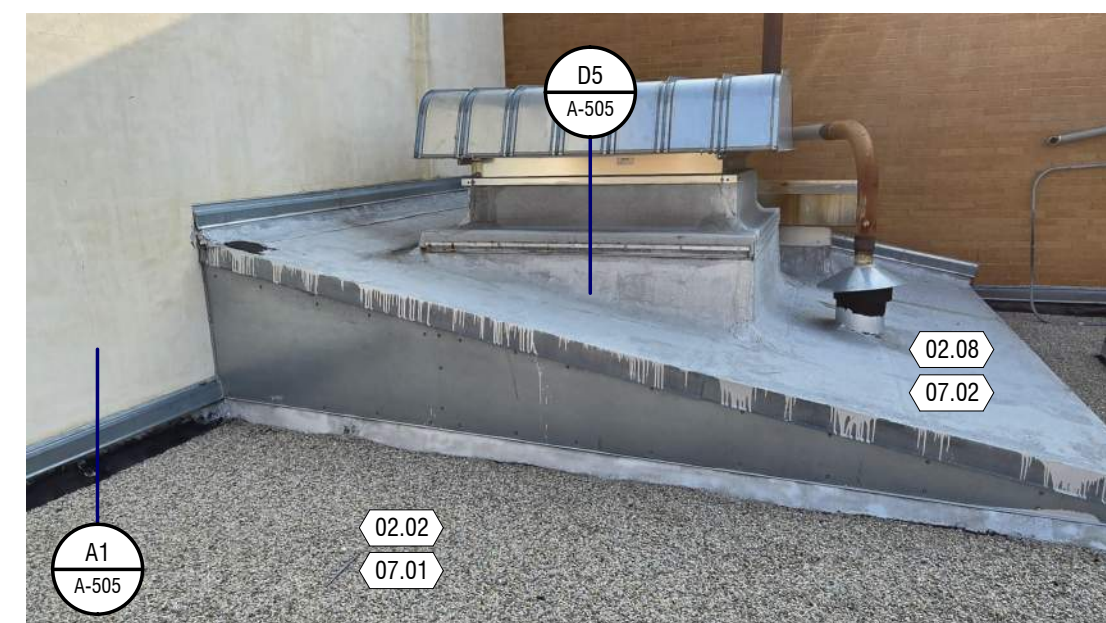
A2 REFERENCE IMAGE

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A3 REFERENCE IMAGE

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A4 REFERENCE IMAGE

NTS

MARK ADT

DATE: 02/19/2025
DESCRIPTION: ADDENDUM 01

PROJECT #: 324236

DRAWN BY: H HARRIS

CHECKED BY: K LEIKIS

ISSUED: 12.23.2024

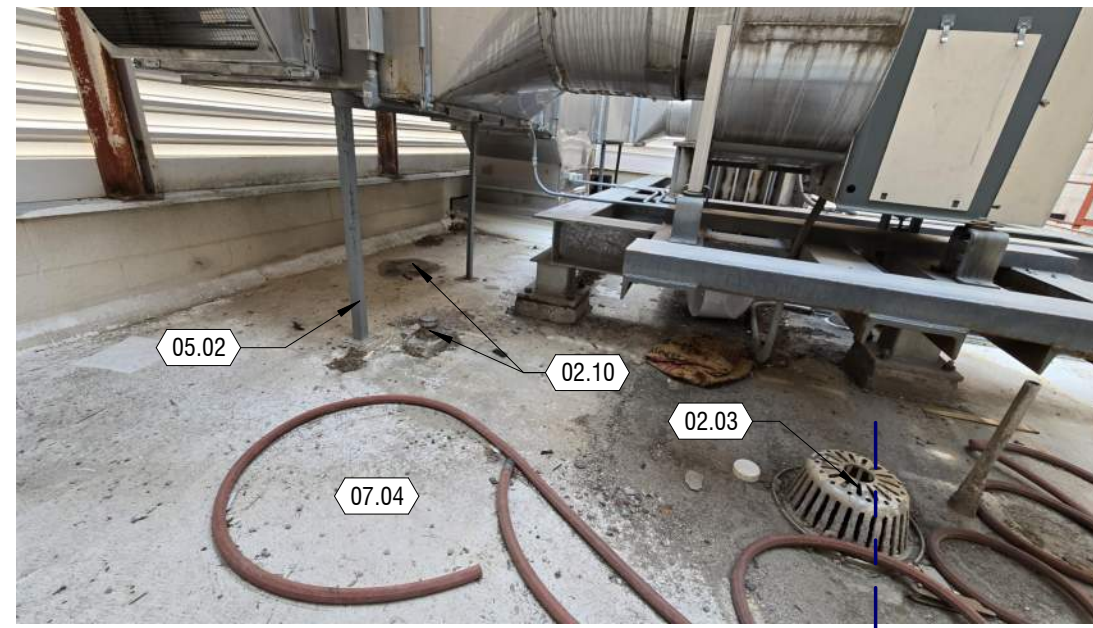


GENERAL NOTES

- KEYNOTES** - THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.
ADDITIONALLY, KEYNOTES RETAIN THEIR ASSIGNED VALUE UNIVERSALLY THROUGHOUT THE SET. THE KEYNOTES LISTED BELOW, REPRESENT THE KEYNOTES FOUND AND UTILIZED ON THIS SHEET AND EACH LIST WILL DIFFER RESPECTIVE TO ITS SHEET. THEREFORE, BASED ON ACTUAL KEYNOTES UTILIZED ON A GIVEN SHEET OF DRAWINGS, GAPS IN THE SEQUENCING WILL OCCUR.
- CONTRACTOR SHALL VERIFY LAY-OUT OF STRUCTURAL, MECHANICAL, AND ELECTRICAL.
- ALL INTERIOR DIMENSIONS ARE TO FROM FACE OF STUD / MASONRY. ALL EXTERIOR DIMENSIONS ARE TO FROM FACE OF GRID FOUNDATION. DIMENSIONS MARKED CLEAR OR CLR ARE FROM FACE OF FINISH TO FACE OF FINISH AND SHALL BE MAINTAINED AND CANNOT BE FIELD ADJUSTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
- PLAN INDICATES MAJOR ROOF PENETRATIONS. THIS DOES NOT REPRESENT ALL PENETRATIONS BY UTILITIES. SEE PAGE 8 OF ROOFING REPORT ON A-002 FOR ADDITIONAL INFORMATION.
- ALL MECHANICAL AND OTHER PENETRATIONS SHALL BE FLASHED ACCORDING TO ROOF MANUFACTURER STANDARDS AND SPECIFICATIONS TO MAINTAIN ROOF MEMBRANE WARRANTY. PENETRATION LOCATIONS TO BE COORDINATED WITH MANUFACTURE PRIOR TO INSTALLATION. PITCH POCKETS ARE NOT ALLOWED. REMOVE ANY UNUSED PITCH POCKETS.
- PROVIDE ELECTROLYSIS SEPARATION BETWEEN DISSIMILAR MATERIAL CONNECTIONS
- CRICKETS SHOWN IN ROOF PLAN MAY NOT BE REFLECTED IN BUILDING SECTIONS OR DETAILS
- ALL FIELDS SLOPE TO ROOF DRAINS. CRICKETS SHOWN ARE FOR GENERAL REFERENCE AND MAY NOT INCLUDE ALL SITUATIONS WHERE CRICKETS ARE REQUIRED. INSTALLER IS RESPONSIBLE TO CRICKET AS REQUIRED TO PREVENT UNNECESSARY BUILD-UP OR DAMMING OF WATER ALONG WALLS, CURBS, ETC.
- PROVIDE ROOF WALKWAY PADS AT ROOF HATCH AND AROUND ALL MECHANICAL UNITS, ROOF TOP EQUIPMENT, SOLAR PANELS, ETC.
- TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF DEBRIS. COORDINATE WITH OWNER FOR DISPOSAL OF GRAVEL ON APPROPRIATE OWNER HELD PROPERTY
- ANY ASBESTOS CONTAINING MATERIAL (ACM) OR LEAD-BASED PAINT (LBP) REMOVAL SHALL BE COORDINATED WITH AUTHORITY HAVING JURISDICTION. REMOVAL SHALL BE DONE THROUGH A QUALIFIED ACM AND LBP CONTRACTORS. DIVISION OF AIR QUALITY RULE R307-801-9: THE ASBESTOS PROJECT OPERATOR SHALL ASSURE THAT THE STRUCTURE OR FACILITY TO BE DEMOLISHED OR RENOVATED IS INSPECTED FOR ACM BY AN INSPECTOR CERTIFIED UNDER THE PROVISIONS OF R307-801-6. AN ASBESTOS SURVEY REPORT SHALL BE GENERATED ACCORDING TO THE PROVISIONS OF R307-801-10. THE ASBESTOS PROJECT OPERATOR SHALL MAKE THE ASBESTOS SURVEY REPORT AVAILABLE ON SITE TO ALL PERSONS WHO HAVE ACCESS TO THE SITE FOR THE DURATION OF THE RENOVATION OR DEMOLITION ACTIVITIES.
- ALL SUSPECT ASBESTOS CONTAINING MATERIALS OR LEAD BASED PAINT NOT IDENTIFIED MUST BE SAMPLED TO DETERMINE CONTENT. IF MATERIALS ARE ENCOUNTERED WHICH HAVE NOT BEEN PREVIOUSLY IDENTIFIED/SAMPLED, STOP WORK AND CONTACT THE AUTHORITY HAVING JURISDICTION.
- EQUIPMENT WORKING OVERHEAD - AREA WHERE OVERHEAD EQUIPMENT IS USED (HIGH REACH FORKLIFT / CRANES ETC) AREAS TO BE FENCED TO PROVIDE PHYSICAL BARRIER BETWEEN OCCUPANTS AND EQUIPMENT.
- FALLING DEBRIS - DOORWAYS THAT MUST REMAIN OPEN DURING CONSTRUCTION WITH LOADING AND UNLOADING WITH THE POTENTIAL FOR FALLING DEBRIS WILL REQUIRE LIFE SAFETY STRUCTURE OR LIFE SAFETY SCAFFOLDING. CONES IDENTIFYING THE HAZARD PLACED AROUND THE PERIMETER OF THE BUILDING AS NEEDED.
- BUILDING FLOODING: CONTRACTOR TO RECOVER AND MAKE ROOF SYSTEM WATERTIGHT EACH DAY WITH SPECIAL ATTENTION TO INCLEMENT WEATHER. COVER AS NEEDED.
- EXHAUST VENTS/FUME HOODS: ANY EQUIPMENT VENTING DANGEROUS FUMES MUST BE SHUT OFF AND LOCKED OUT PRIOR TO START OF WORK. COORDINATE WITH OWNER.
- DETACH, LIFT, REATTACH ALL MECHANICAL EQUIPMENT, VENTS, DUCTS ETC. RAISE CURBS, GAS PIPES, CONDUIT, ELECTRICAL AS REQUIRED TO MEET MINIMUM MANUFACTURERS CLEARANCES AND TO ALLOW FOR PROPER DETAILING OF CURBS AND ROOF SYSTEMS.
- ANY DAMAGED OR OTHERWISE POOR CONDITION WOOD NAILERS, CURBS, BLOCKING & ETC TO BE REPLACED WITH PRESSURE TREATED WOOD. REPAIR OR REPLACE OTHER BACKING AS REQUIRED TO ALLOW FOR SOLID ATTACHMENT TO ROOFING SYSTEM OR METAL FLASHING.
- ROOFING CONTRACTOR TO COORDINATE / REVIEW DETAILS UPON AWARD OF CONTRACT AND WORK PROGRESS WITH ARCHITECT / OWNERS REPRESENTATIVE THAT MAY BE BETTER DETAILED OR INSTALLED ANOTHER WAY - SEE SHEET A-503.
- ALL EXISTING ROOF DRAINS SHALL BE REPLACED WITH NEW CAST IRON DRAINS AND BOWLS. MATCH EXISTING SIZE. THE CONTRACTOR TO VERIFY THE DRAINAGE SYSTEM IS FREE OF DEBRIS AT THE CONCLUSION OF THE PROJECT TO ENSURE NO OBSTRUCTIONS IN THE DRAINAGE SYSTEM.
- PROTECT EXISTING ROOF DRAINS AND PIPES DURING CONSTRUCTION - COVER TO ELIMINATE ROCK AND DEBRIS FROM ENTERING OPENINGS.
- MINIMUM R-VALUE SHALL BE R-30 OF POLYISO INSULATION.
- COVER AND PROTECT ALL ROOF OPENINGS EACH NIGHT AND PROTECT ALL AREAS OPEN TO WATER DAMAGE.
- MIN. ROOF SLOPE SHALL BE 1/4" PER FOOT. WHERE STRUCTURE SLOPE DOES NOT OCCUR OR IS INSUFFICIENT, OBTAIN NEW SLOPE WITH TAPERED INSULATION.

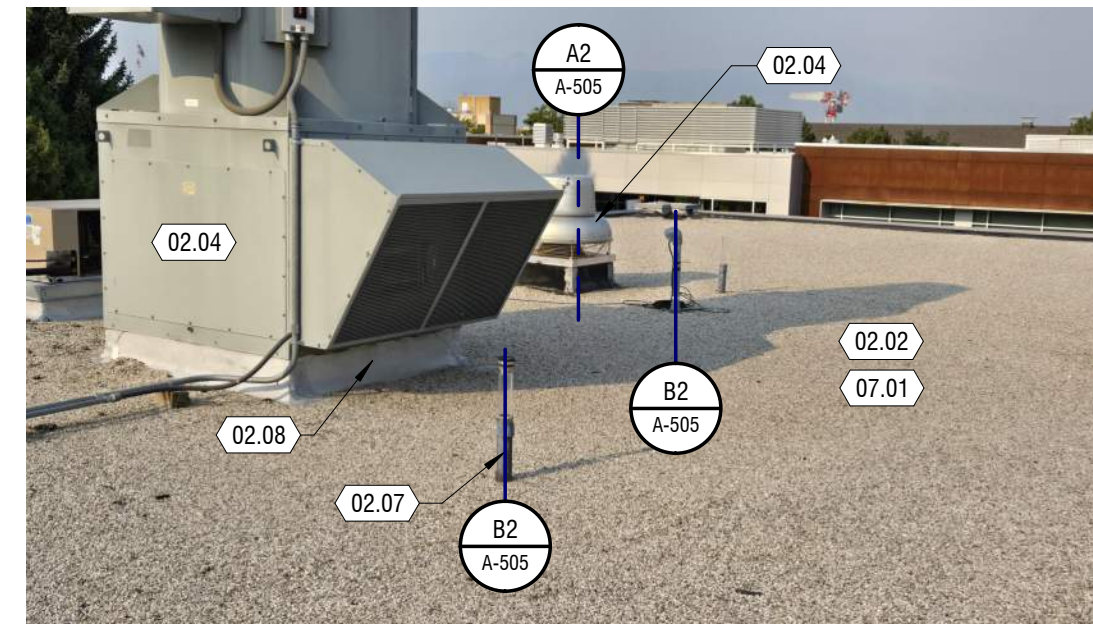
KEYNOTES

MARK	DESCRIPTION
02.02	REMOVE EXISTING BUILT UP ROOFING SYSTEM AND INSULATION TO EXISTING DECK - LAYERS VARY. REMOVE EXISTING GRAVEL AND COORDINATE WITH THE OWNER TO DISPOSE AT THEIR GRAVEL PIT. REMOVE ALL REMAINING LAYERS DOWN TO DECK.
02.03	REMOVE AND REPLACE EXISTING DRAINS (ROOF DRAIN RECEIVER) AND DRAIN CAPS (DOMES) WITH NEW CAST IRON DRAIN RECEIVERS AND CAPS. PROVIDE NEW FLASHING CLAMPS. PROVIDE NEW MEMBRANE - SEE A3, A4/A-503 - SALVAGE DRAIN CAPS AND DOMES TO OWNER
02.04	DETACH, LIFT, REATTACH ALL MECHANICAL EQUIPMENT, VENTS, DUCTS, HATCHES, ETC. - EXTEND / LIFT EXISTING MECHANICAL UNIT CURBS, GAS, PIPES, CONDUIT, ELECTRICAL AS REQUIRED TO MEET MINIMUM MANUFACTURERS CLEARANCES. VENTS AND PIPES 8" MIN. - RE-ROOF - REPLACE MANUFACTURED PIPE / CONDUIT SUPPORT SYSTEM AT EXPOSED PIPES / CONDUIT - PROVIDE NEW EXTERIOR WATERPROOF CONDUIT & PIPE SUPPORTS - SEE SHEET A-503 FOR DETAILS
02.05	EXISTING ROOFING SYSTEM SAMPLE - SEE SHEET A-504
02.07	EXISTING VENT PIPE - TO REMAIN
02.08	ASBESTOS IS FOUND IN SILVER PAINT AT ALL PARPET WALLS AND RAISED AREA. SHALL BE ABATED
02.10	REMOVE ANY EXISTING PITCH POCKETS
02.13	EXISTING CAMERA AND STAND TO BE REMOVED - COORDINATE W/OWNER
02.14	EXISTING WIRE WEATHER HEAD - PROTECT AND COORDINATE W/OWNER
05.01	PROVIDE NEW METAL FLASHING, FASCIA AND COUNTER FLASHING AT PARAPETS AND ROOF EDGES - COLOR TBD - ARCHITECT TO APPROVE SAMPLE - SEE ?/A-50? - FIELD VERIFY TYPES AND PROFILES
05.02	EXTEND DUCT SUPPORT STANDS TO STRUCTURE DECKING
07.01	PROVIDE NEW SINGLE-PLY MEMBRANE AND RIGID R-30 POLYISO INSULATION - GLUE DOWN FULLY ADHERED SYSTEM - EXTEND MEMBRANE UP UNDER PARAPET CAP / EXPANSION JOINT WHERE POSSIBLE - PROVIDE TAPERED INSULATION TO ALLOW FOR DRAINAGE WHERE SLOPED STRUCTURE DOES NOT OCCUR OR CRICKETS ARE REQUIRED.
07.04	PROVIDE NEW LIQUID-APPLIED MEMBRANE. REMOVE EXISTING OR PERFORM ADHESION TEST TO A CLEAN PORTION TO ASSURE PROPER BONDING



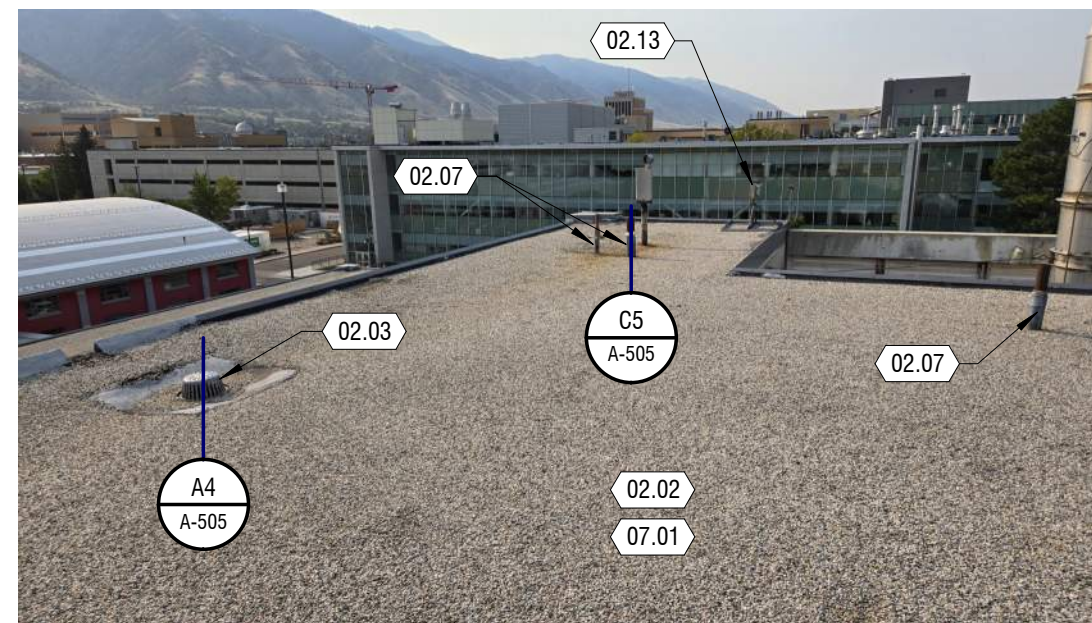
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D4 REFERENCE IMAGE

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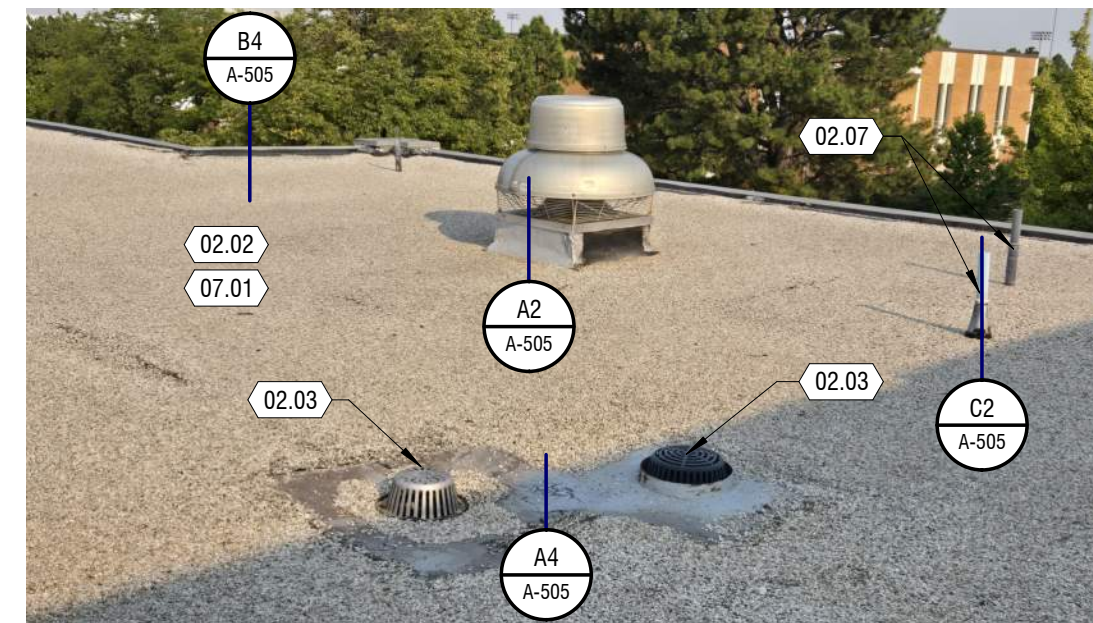
C2 REFERENCE IMAGE

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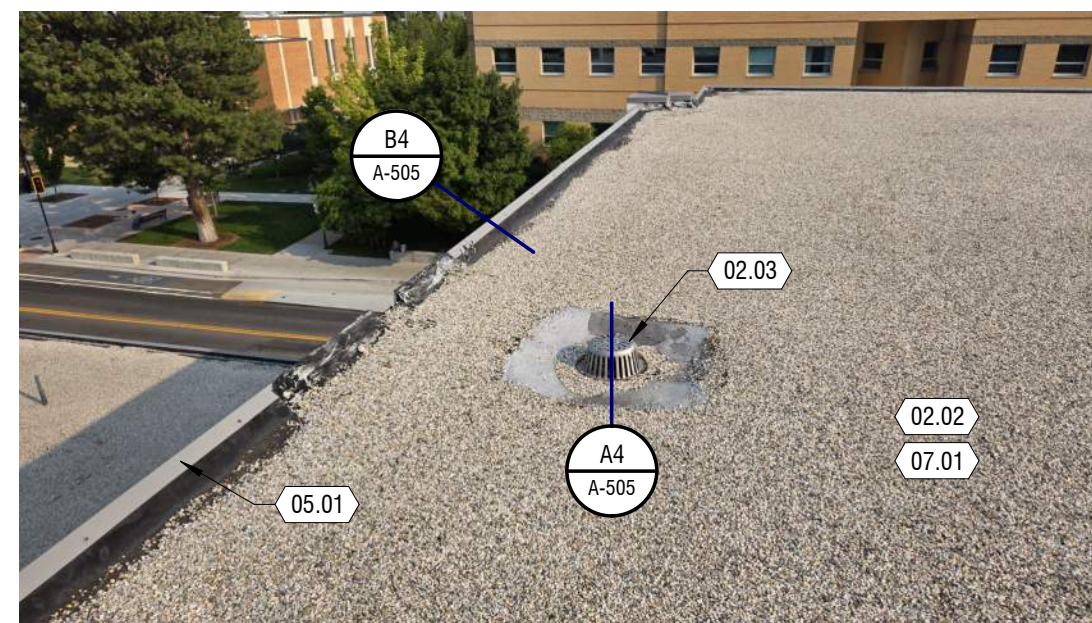
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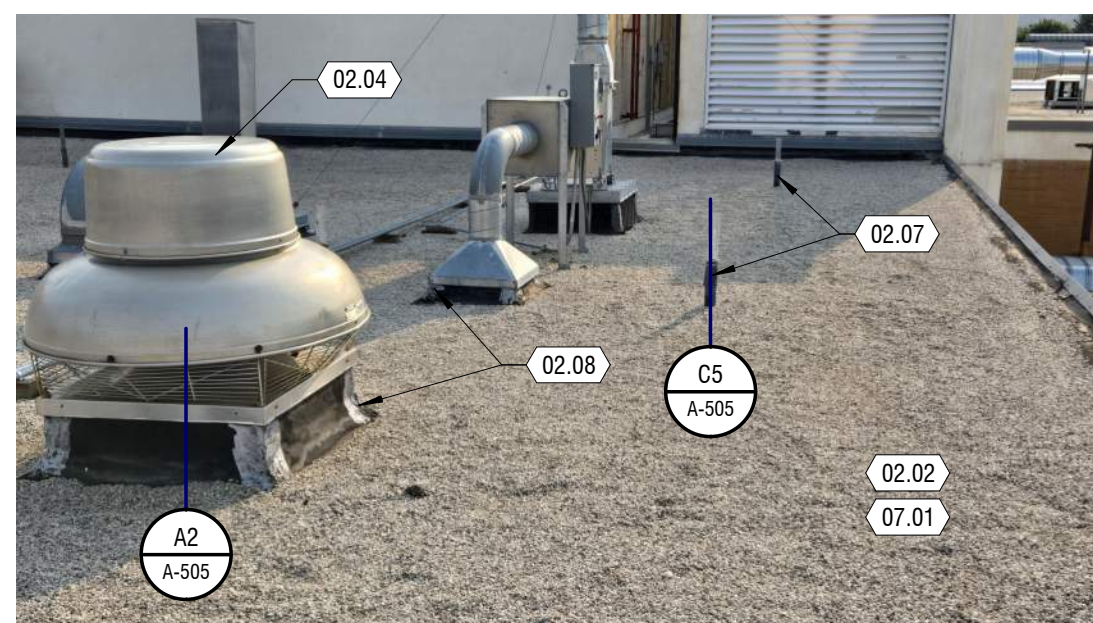
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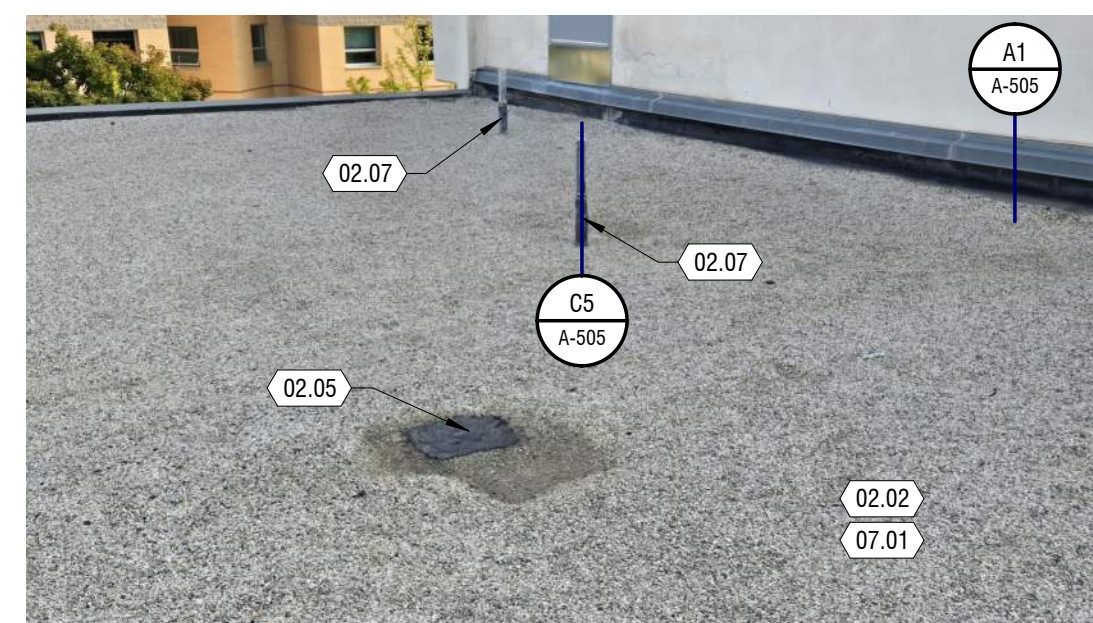
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B3 REFERENCE IMAGE

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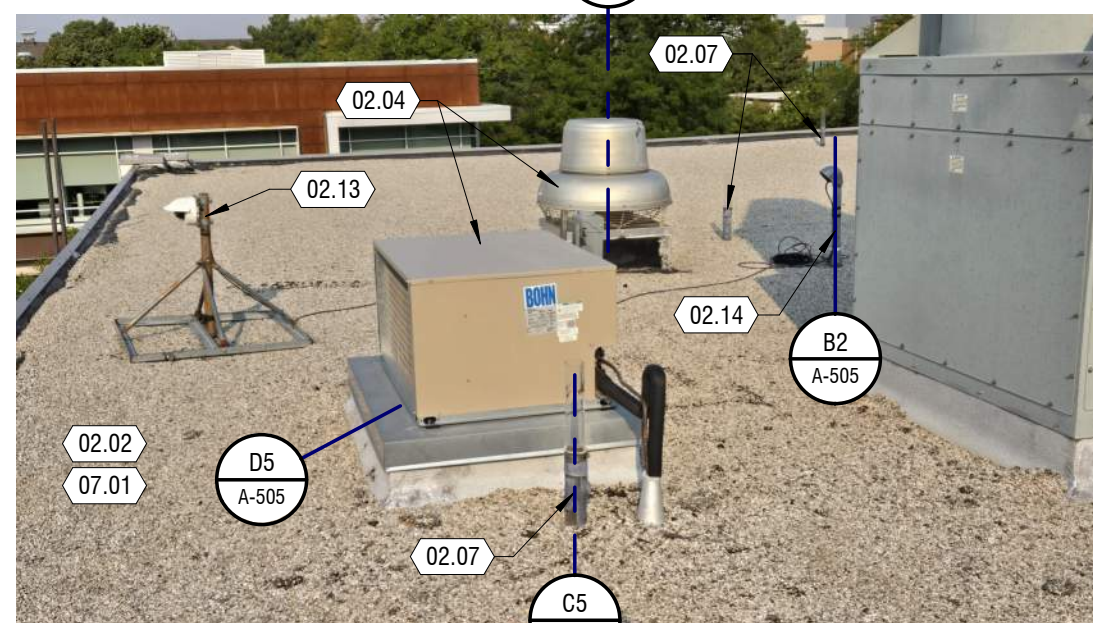
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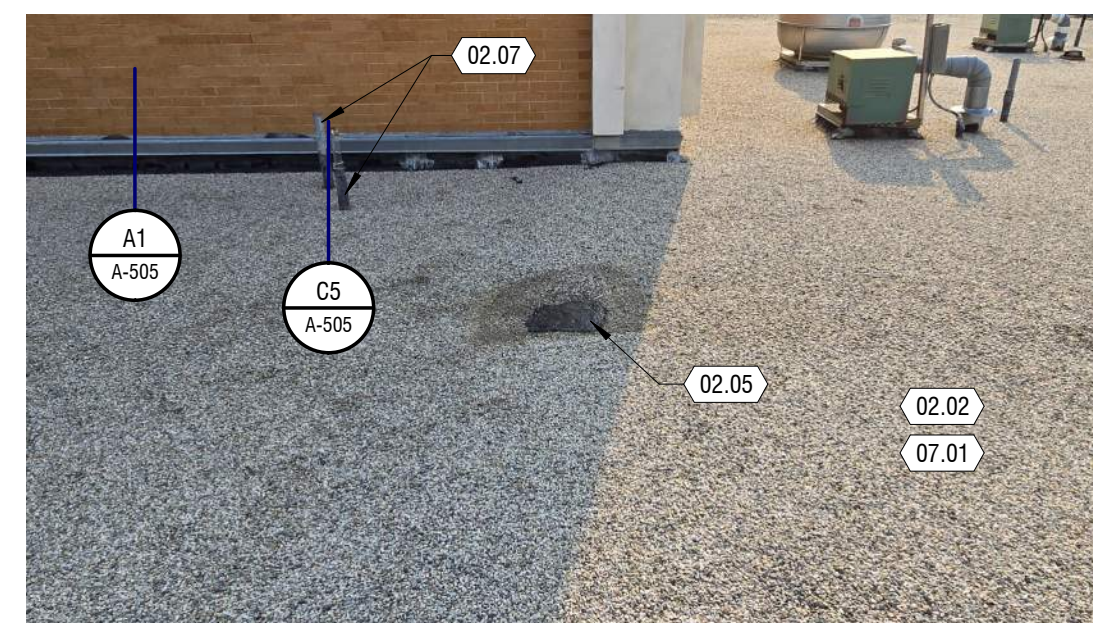
A2 REFERENCE IMAGE

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A3 REFERENCE IMAGE

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A4 REFERENCE IMAGE

NTS

MARK: ADT

DATE: 02/19/2025

DESCRIPTION: A503.DWG

PROJECT #: 324236

DRAWN BY: H HARRIS

CHECKED BY: K LEIKIS

ISSUED: 12.23.2024



BID/PERMIT SET

D

C

B

A



D1 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



D2 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



C1 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



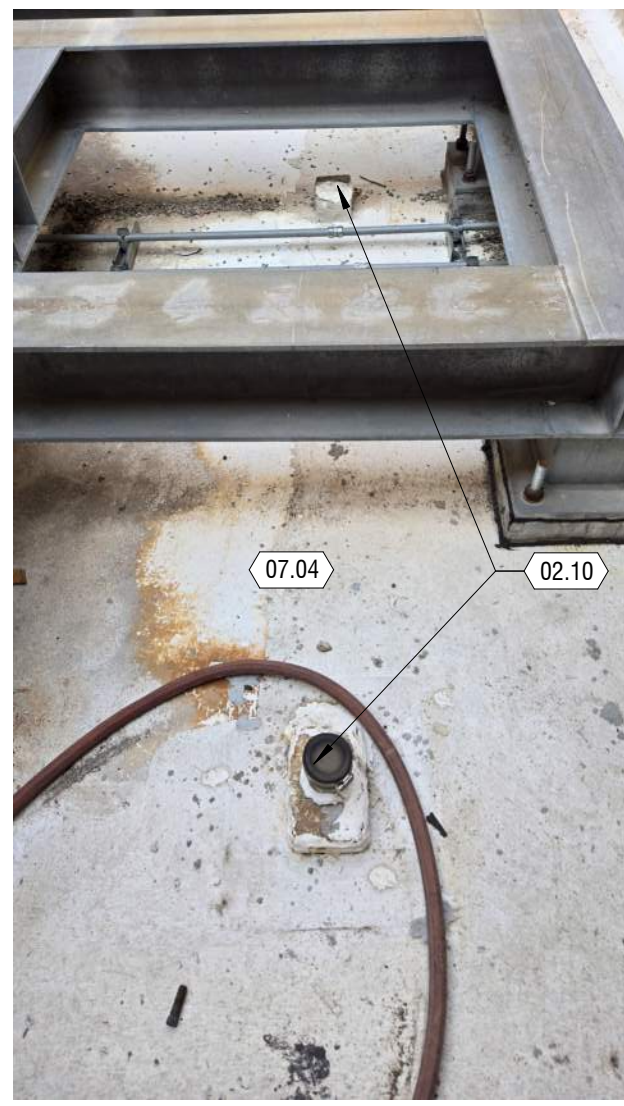
C2 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



B1 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



B2 REFERENCE IMAGE
3/16" = 1'-0" CORE SAMPLE



C3 REFERENCE IMAGE
NTS



C4 REFERENCE IMAGE
NTS



B3 REFERENCE IMAGE
NTS



B4 REFERENCE IMAGE
NTS



A2 REFERENCE IMAGE
NTS



A3 REFERENCE IMAGE
NTS



A4 REFERENCE IMAGE
NTS

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- CRICKETS SHOWN IN ROOF PLAN MAY NOT BE REFLECTED IN BUILDING SECTIONS OR DETAILS
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- PROVIDE ROOF WALKWAY PADS AT ROOF HATCH AND AROUND ALL MECHANICAL UNITS, ROOF TOP EQUIPMENT, SOLAR PANELS, ETC.
- TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF DEBRIS. COORDINATE WITH OWNER FOR DISPOSAL OF GRAVEL ON APPROPRIATE OWNER HELD PROPERTY
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- FALLING DEBRIS - DOORWAYS THAT MUST REMAIN OPEN DURING CONSTRUCTION WITH LOADING AND UNLOADING WITH THE POTENTIAL FOR FALLING DEBRIS WILL REQUIRE LIFE SAFETY STRUCTURE OR LIFE SAFETY SCAFFOLDING. CONES IDENTIFYING THE HAZARD PLACED AROUND THE PERIMETER OF THE BUILDING AS NEEDED.
- BUILDING FLOODING: CONTRACTOR TO RECOVER AND MAKE ROOF SYSTEM WATERTIGHT EACH DAY WITH SPECIAL ATTENTION TO INCLEMENT WEATHER. COVERS AS NEEDED.
- EXHAUST VENTS/FUME HOODS: ANY EQUIPMENT VENTING DANGEROUS FUMES MUST BE SHUT OFF AND LOCKED OUT PRIOR TO START OF WORK. COORDINATE WITH OWNER.
- DETACH, LIFT, REATTACH ALL MECHANICAL EQUIPMENT, VENTS, DUCTS ETC. RAISE CURBS, GAS PIPES, CONDUIT, ELECTRICAL AS REQUIRED TO MEET MINIMUM MANUFACTURERS CLEARANCES AND TO ALLOW FOR PROPER DETAILING OF CURBS AND ROOF SYSTEMS.
- ANY DAMAGED OR OTHERWISE POOR CONDITION WOOD NAILERS, CURBS, BLOCKING & ETC TO BE REPLACED WITH PRESSURE TREATED WOOD. REPAIR OR REPLACE OTHER BACKING AS REQUIRED TO ALLOW FOR SOLID ATTACHMENT TO ROOFING SYSTEM OR METAL FLASHING.
- ROOFING CONTRACTOR TO COORDINATE / REVIEW DETAILS UPON AWARD OF CONTRACT AND WORK PROGRESS WITH ARCHITECT / OWNERS REPRESENTATIVE THAT MAY BE BETTER DETAILED OR INSTALLED ANOTHER WAY - SEE SHEET A-503.
- ALL EXISTING ROOF DRAINS SHALL BE REPLACED WITH NEW CAST IRON DRAINS AND BOWLS. MATCH EXISTING SIZE. THE CONTRACTOR TO VERIFY THE DRAINAGE SYSTEM IS FREE OF DEBRIS AT THE CONCLUSION OF THE PROJECT TO ENSURE NO OBSTRUCTIONS IN THE DRAINAGE SYSTEM.
- PROTECT EXISTING ROOF DRAINS AND PIPES DURING CONSTRUCTION - COVER TO ELIMINATE ROCK AND DEBRIS FROM ENTERING OPENINGS.
- MINIMUM R-VALUE SHALL BE R-30 OF POLYISO INSULATION.
- COVER AND PROTECT ALL ROOF OPENINGS EACH NIGHT AND PROTECT ALL AREAS OPEN TO WATER DAMAGE.
- MIN. ROOF SLOPE SHALL BE 1/4" PER FOOT. WHERE STRUCTURE SLOPE DOES NOT OCCUR OR IS INSUFFICIENT, OBTAIN NEW SLOPE WITH TAPERED INSULATION.

KEYNOTES

MARK	DESCRIPTION
02.02	REMOVE EXISTING BUILT UP ROOFING SYSTEM AND INSULATION TO EXISTING DECK - LAYERS VARY. REMOVE EXISTING GRAVEL AND COORDINATE WITH THE OWNER TO DISPOSE AT THEIR GRAVEL PIT. REMOVE ALL REMAINING LAYERS DOWN TO DECK.
02.10	REMOVE ANY EXISTING PITCH POCKETS
05.01	PROVIDE NEW METAL FLASHING, FASCIA AND COUNTER FLASHING AT PARAPETS AND ROOF EDGES - COLOR: TBD - ARCHITECT TO APPROVE SAMPLE - SEE 77A-307 - FIELD VERIFY TYPES AND PROFILES.
07.01	PROVIDE NEW SINGLE-PLY MEMBRANE AND RIGID R-30 POLYISO INSULATION - GLUE DOWN FULLY ADHERED SYSTEM - EXTEND MEMBRANE UNDER PARAPET CAP / EXPANSION JOINT WHERE POSSIBLE - PROVIDE TAPERED INSULATION TO ALLOW FOR DRAINAGE WHERE SLOPED STRUCTURE DOES NOT OCCUR OR CRICKETS ARE REQUIRED.
07.02	NEW SINGLE PLY MEMBRANE TO CONTINUE ON PARAPET FACES. ADHERE COVER BOARD TO EXISTING CMU AND ADHERE MEMBRANE TO BOARD FACE
07.03	WALL TO RECEIVE COVERBOARD. ADHERE MEMBRANE TO COVERBOARD AND CONTINUE MEMBRANE UNDER NEW PARAPET CAP
07.04	PROVIDE NEW LIQUID-APPLIED MEMBRANE. REMOVE EXISTING OR PERFORM ADHESION TEST TO A CLEAN PORTION TO ASSURE PROPER BONDING

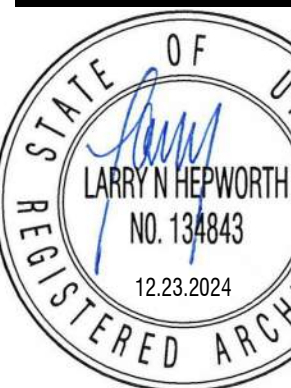
DATE:	02/19/2025
DESCRIPTION:	A-500/01
MARK:	ADT

PROJECT #: 324236
DRAWN BY: H HARRIS
CHECKED BY: K LEIKS
ISSUED: 12.23.2024

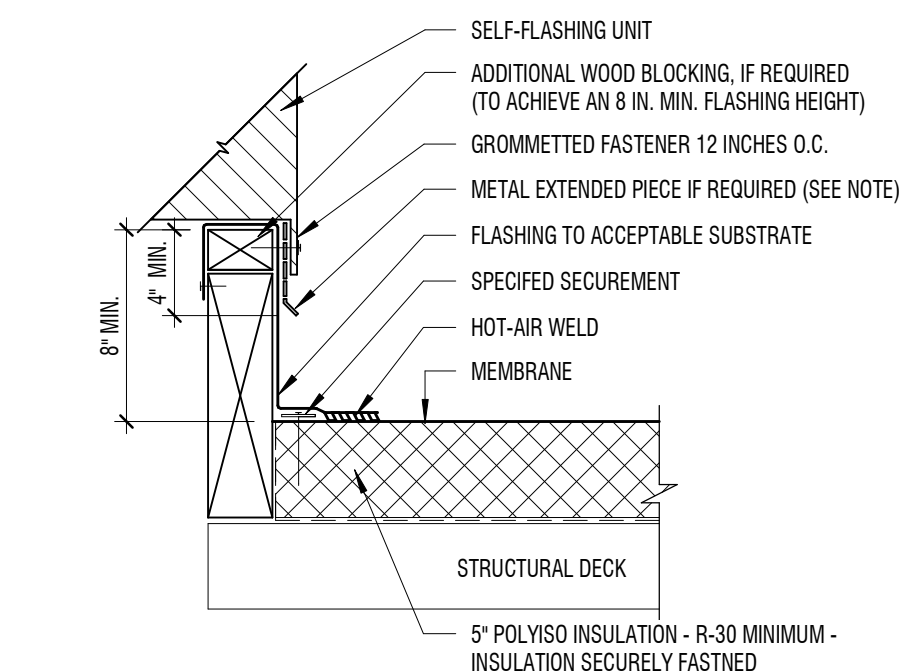


BID/PERMIT SET

MARK	ADT
DATE	02/19/2025
DESCRIPTION	ADDENDUM 01
PROJECT #	324236
DRAWN BY	H HARRIS
CHECKED BY	K LEIKIS
ISSUED	12.23.2024



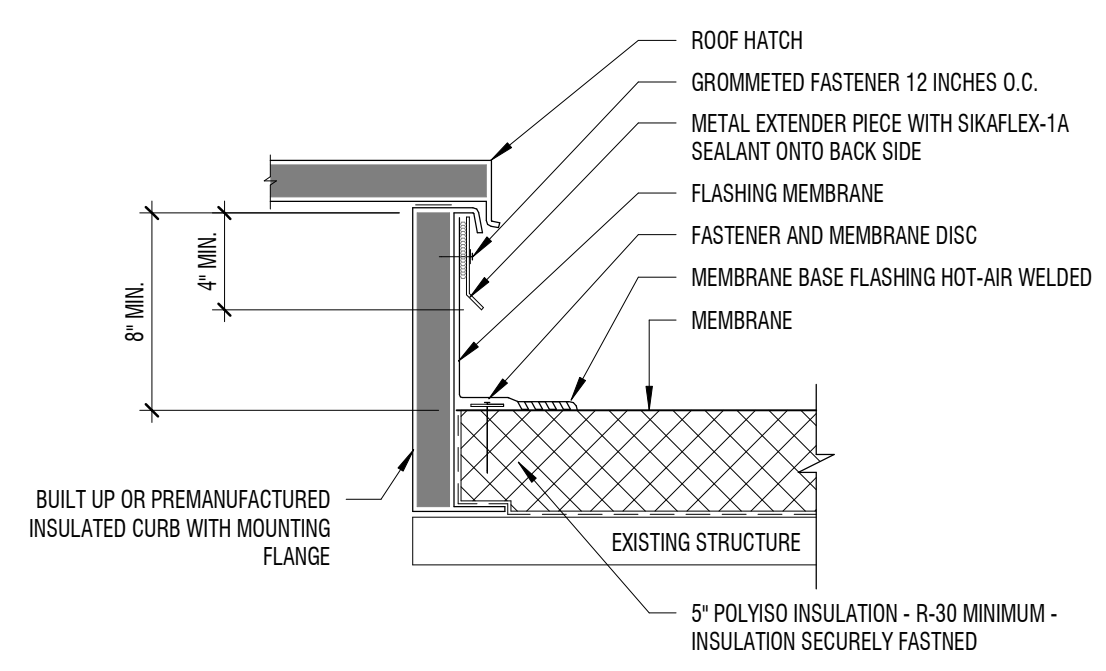
BID/PERMIT SET



- NOTE:
- METAL EXTENDER PIECE IS REQUIRED IF EXISTING COUNTERFLASHING IS CONTAMINATED AND/OR COUNTERFLASHING FASCIA IS LESS THAN 4 INCHES WIDE. FASTENED 12 INCHES O.C. WITH GROMMETTED FASTENER
 - INSTALL FELT LAYER TO COUNTER ACT REMAINING ASPHALT MATERIALS
 - AT LOCATIONS WHERE UNIT CAN BE LIFTED, EXTEND ROOFING MEMBRANE OVER TOP OF CURB - TYPICAL

D5 CURB FLASHING - TYPICAL

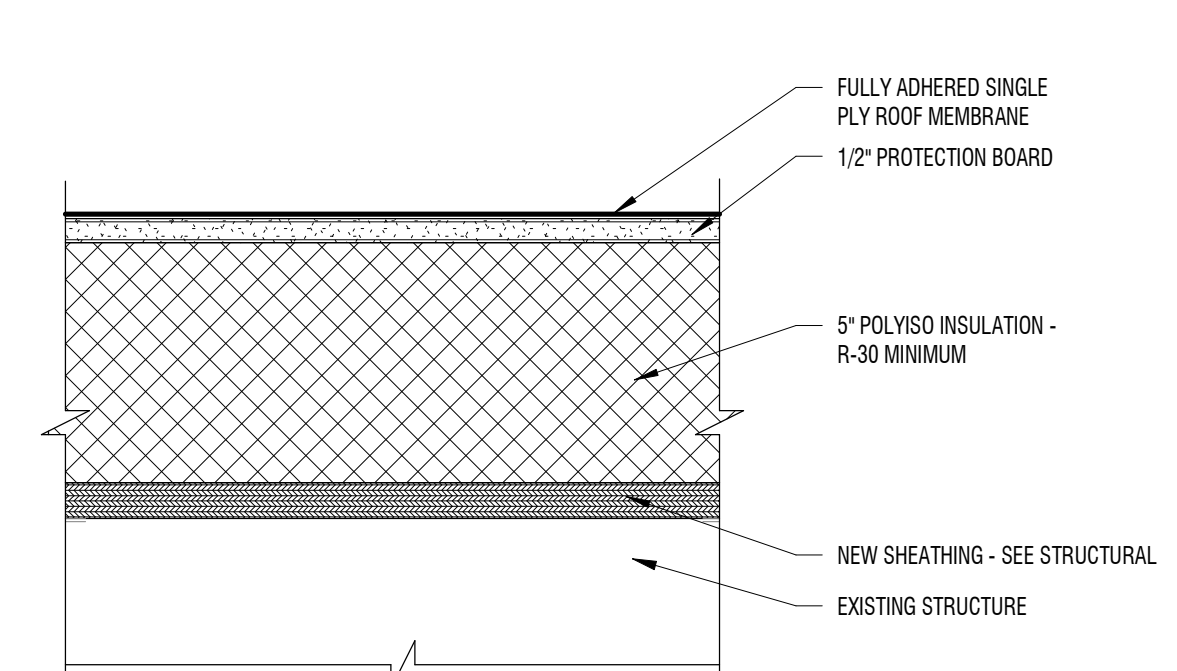
1 1/2" = 1'-0"



- NOTE:
- METAL FLASHING PIECE IS REQUIRED IF EXISTING COUNTERFLASHING IS CONTAMINATED AND/OR COUNTERFLASHING FASCIA IS LESS THAN 4 INCHES WIDE. FASTENED 12 INCHES O.C. WITH GROMMETTED FASTENER

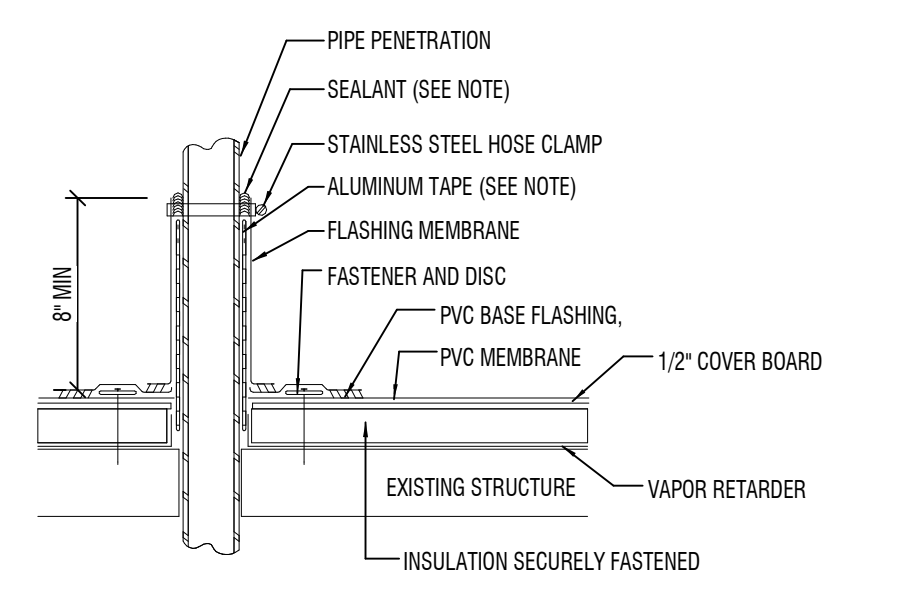
D4 ROOF HATCH FLASHING

1 1/2" = 1'-0"



D2 NEW ROOF CROSS SECTION

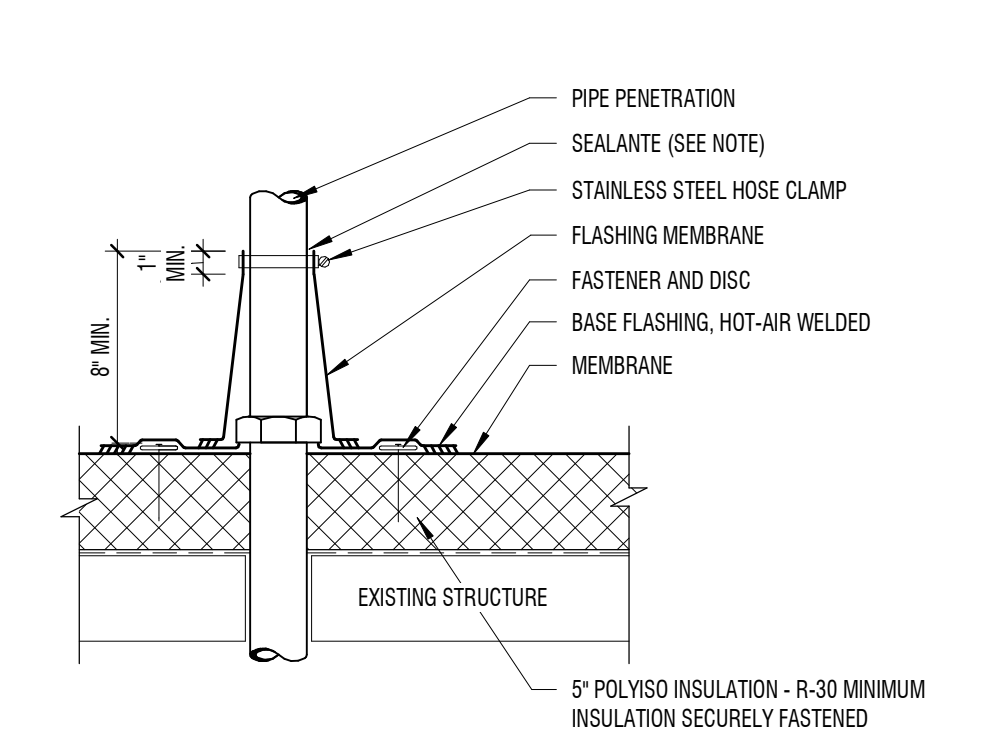
3" = 1'-0"



- NOTES:
- ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.

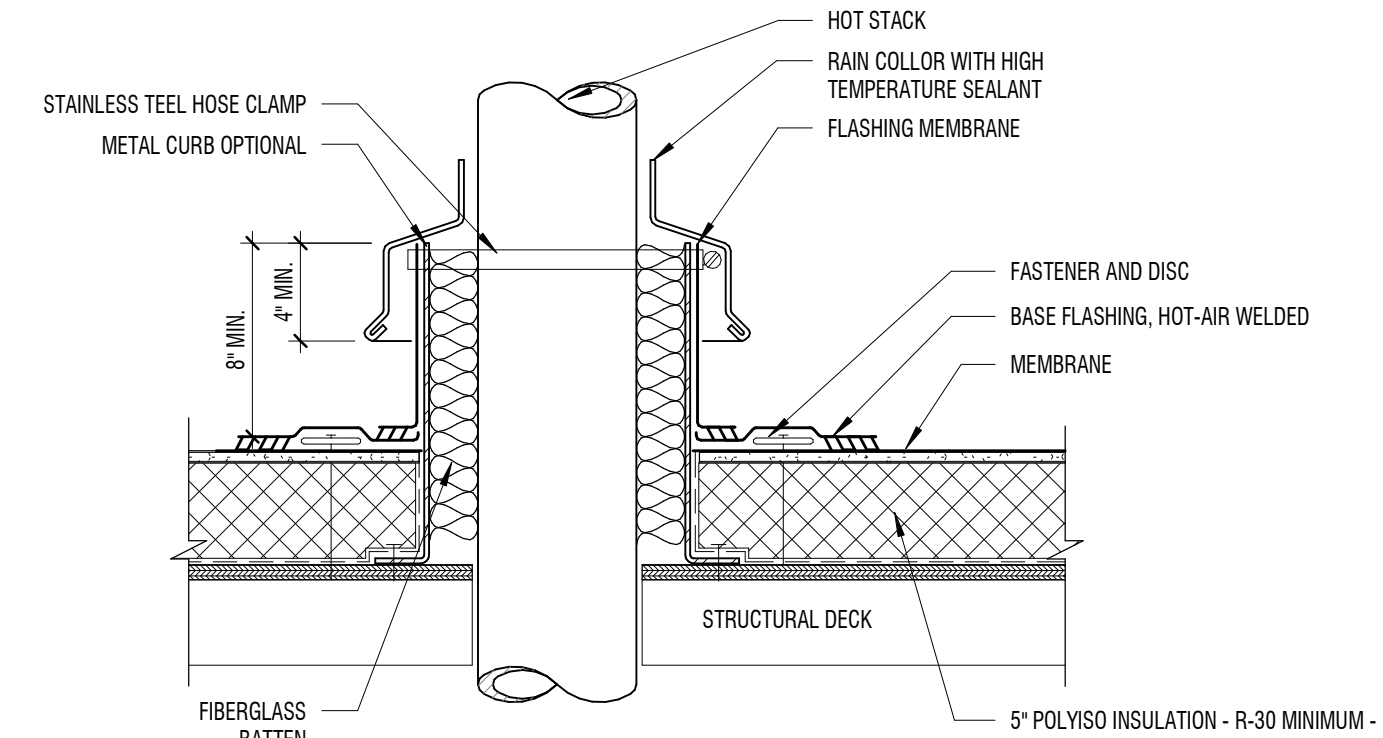
C5 PIPE PENETRATION FLASHING

1 1/2" = 1'-0"



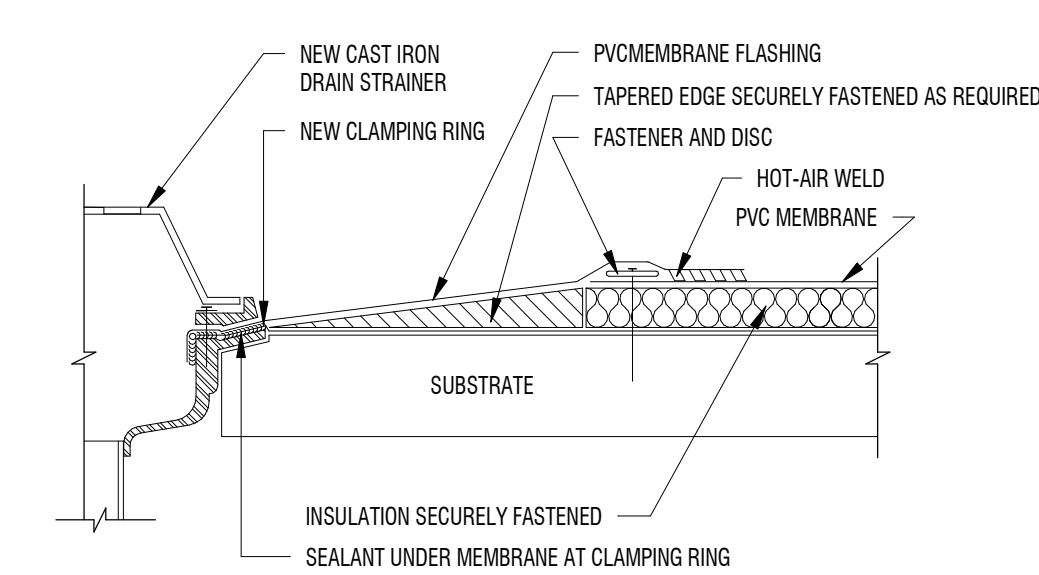
C4 CONE FLASHING AT PENETRATION

1 1/2" = 1'-0"



C2 HEATED STACK FLASHING

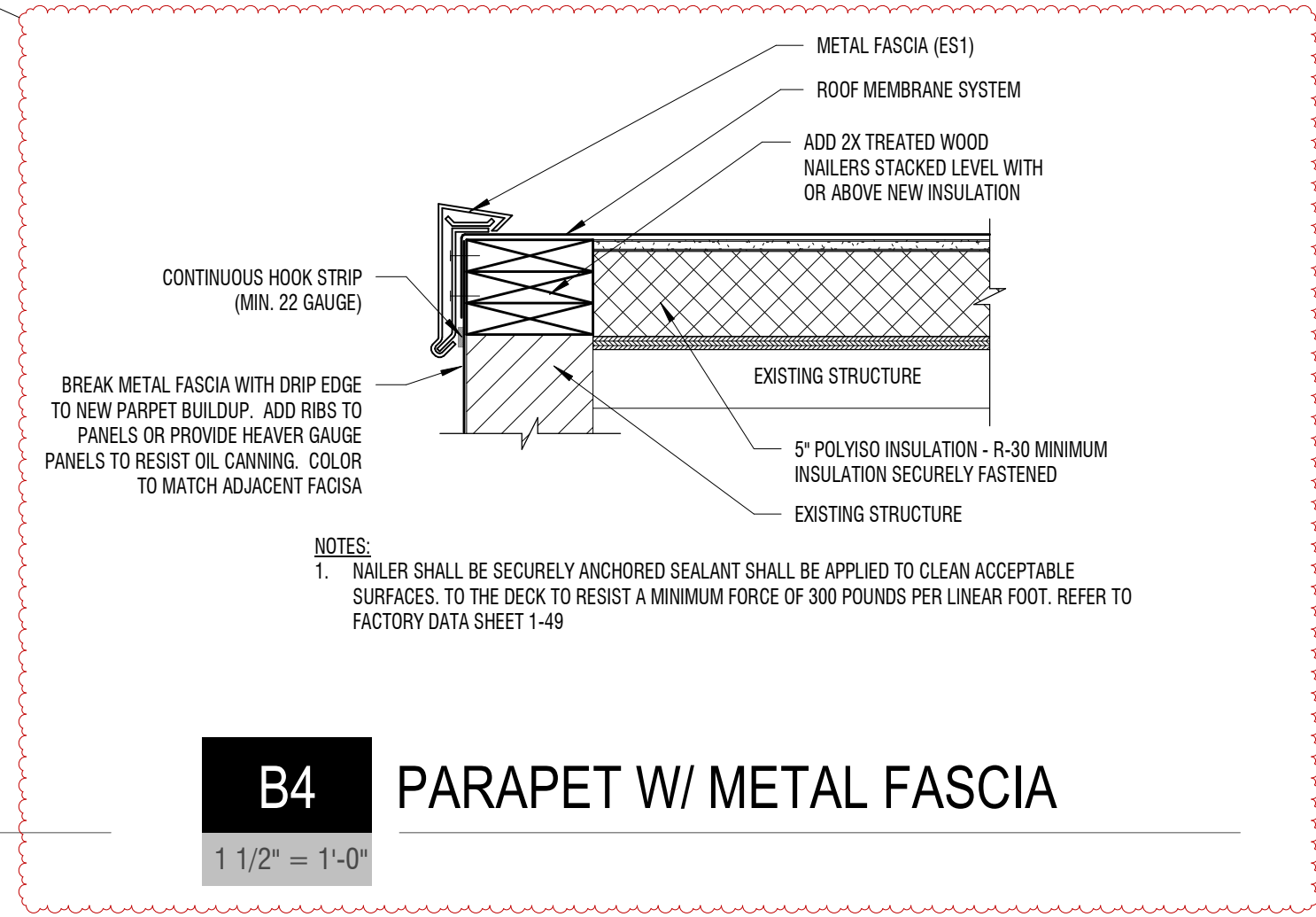
1 1/2" = 1'-0"



- NOTES:
- EXISTING DRAIN BOWL, CLAMPING RING AND DRAIN ACCESSORIES ARE TO BE CLEANED FREE OF ALL CONTAMINATES
 - PVC MEMBRANE MUST BE USED IN AREAS OF ASPHALT CONTAMINATION.

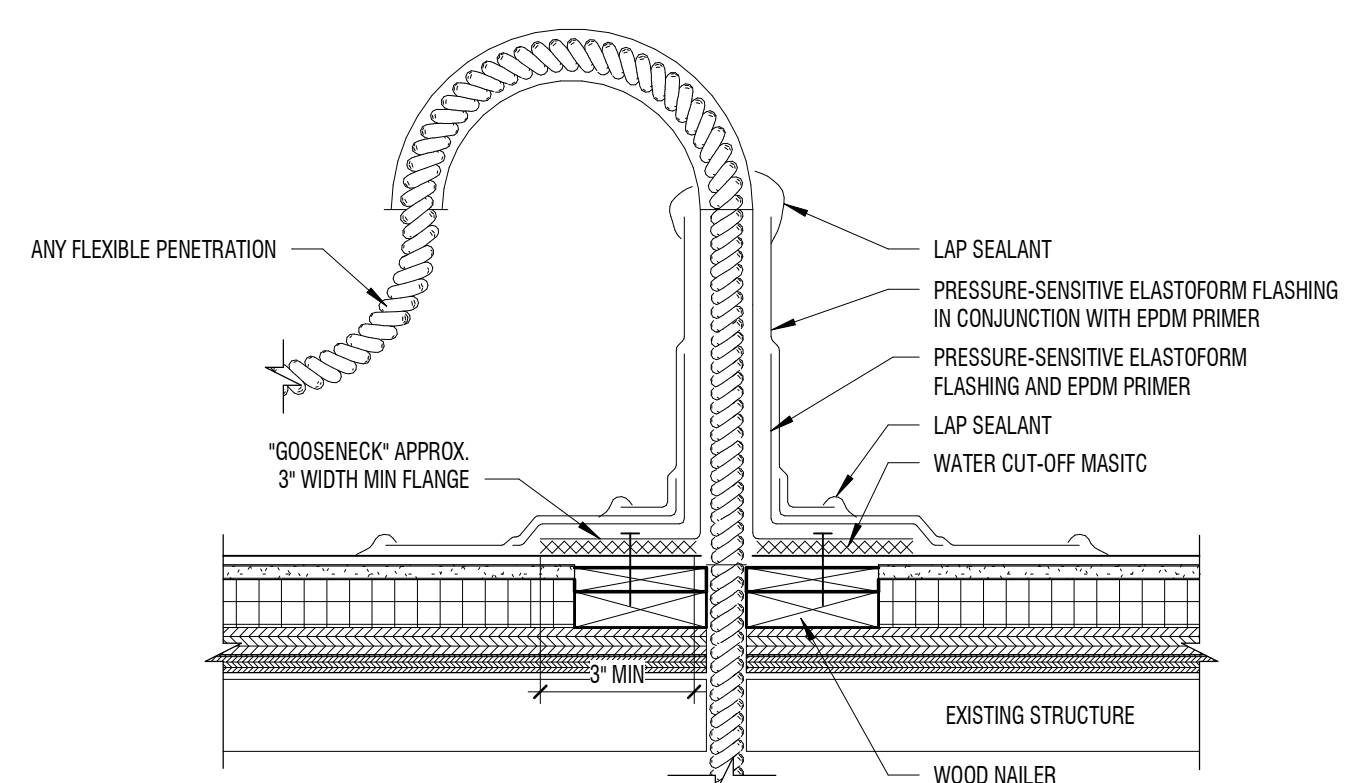
B5 CLAMPING RING DRAIN

1" = 1'-0"



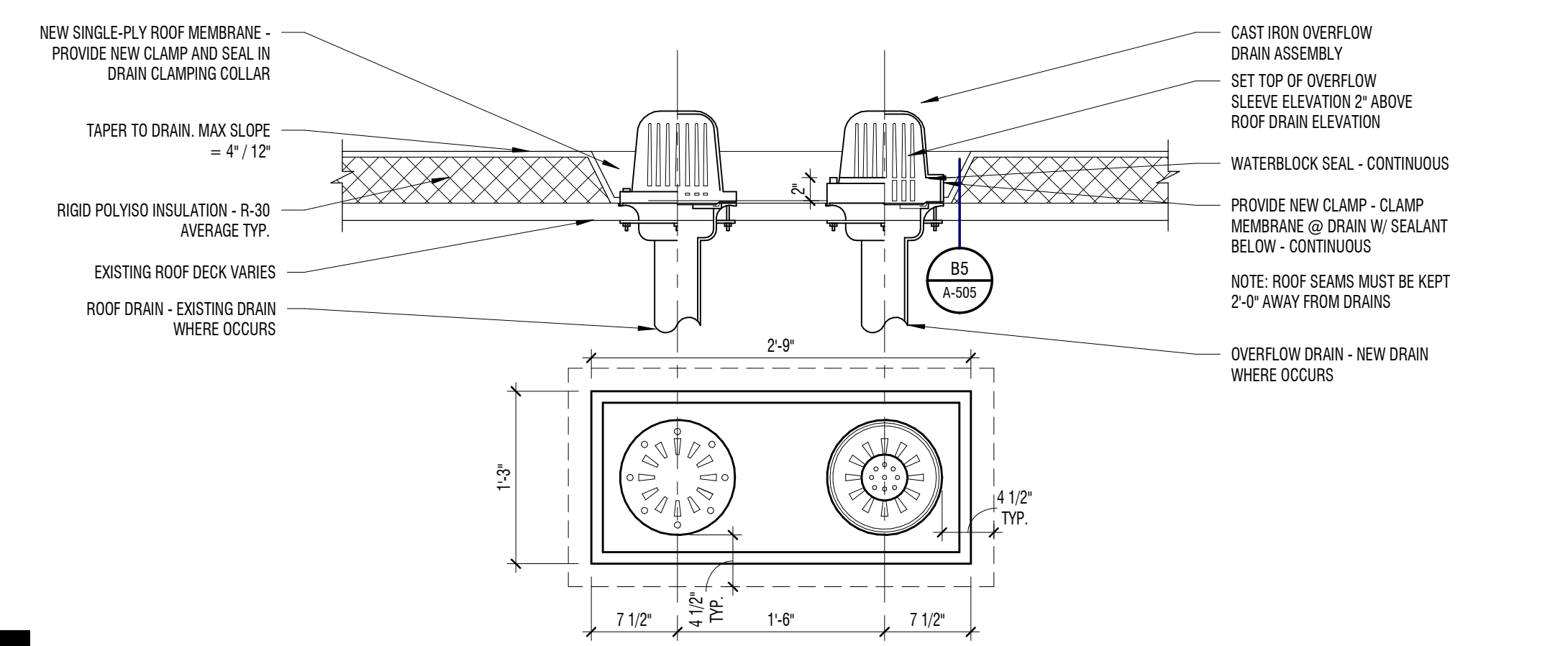
B4 PARAPET W/ METAL FASCIA

1 1/2" = 1'-0"



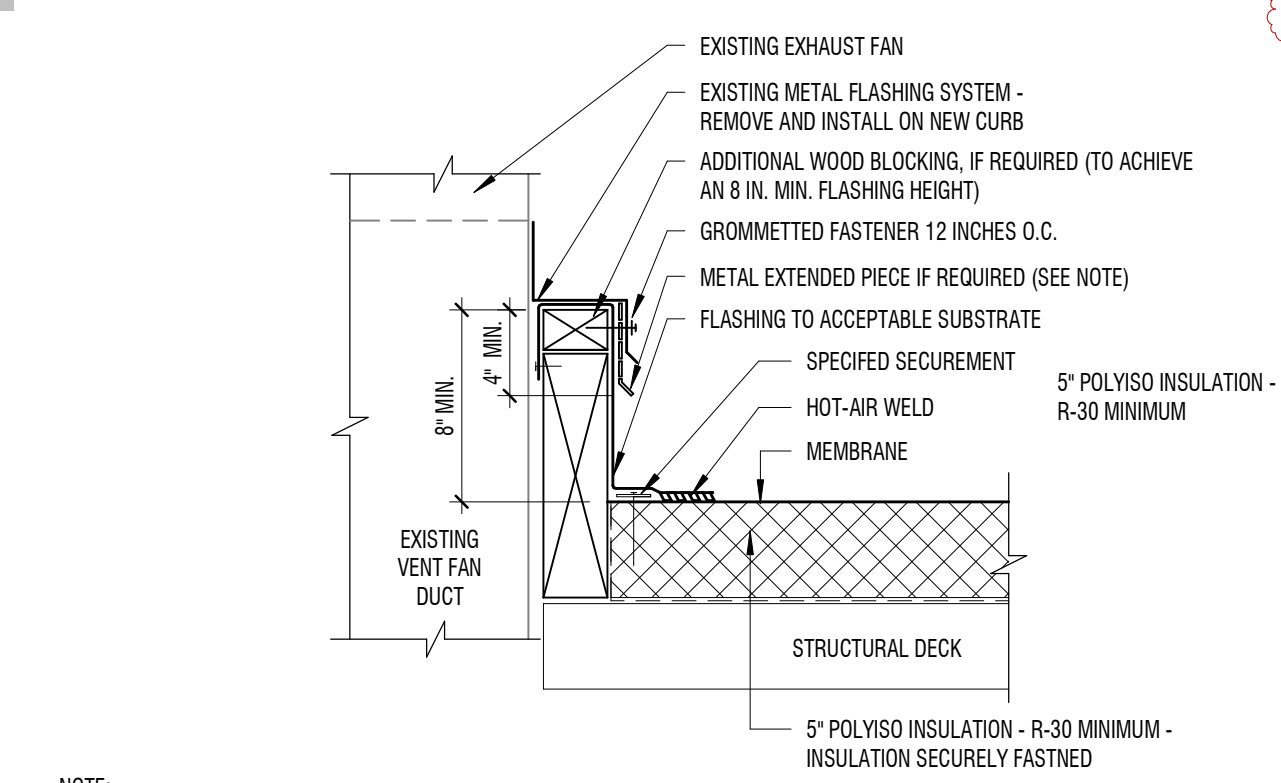
B2 FLEXIBLE PENETRATION

1 1/2" = 1'-0"



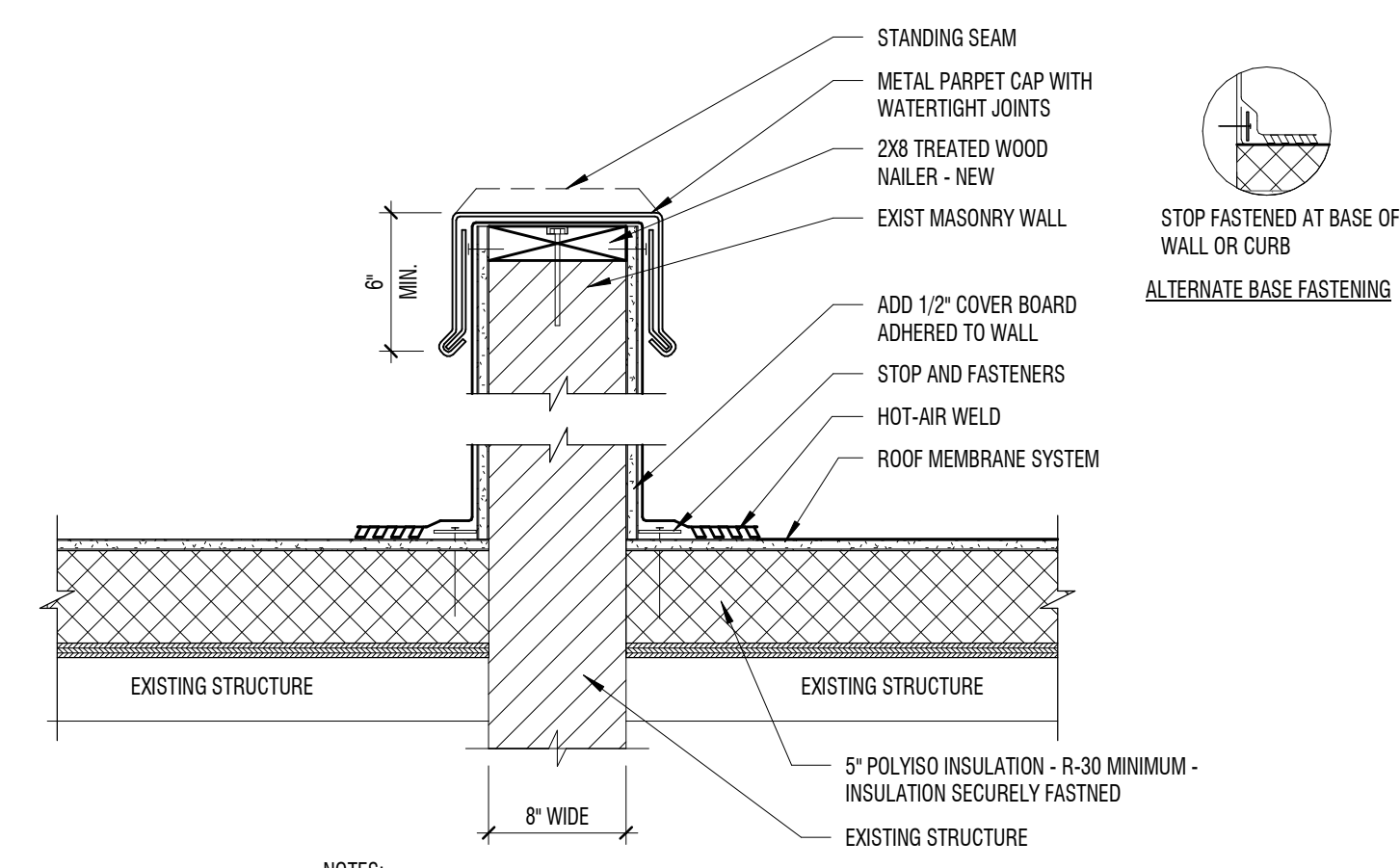
A4 TYPICAL ROOF DRAIN

1" = 1'-0"



A2 CURB EXHAUST FAN FLASHING

1 1/2" = 1'-0"

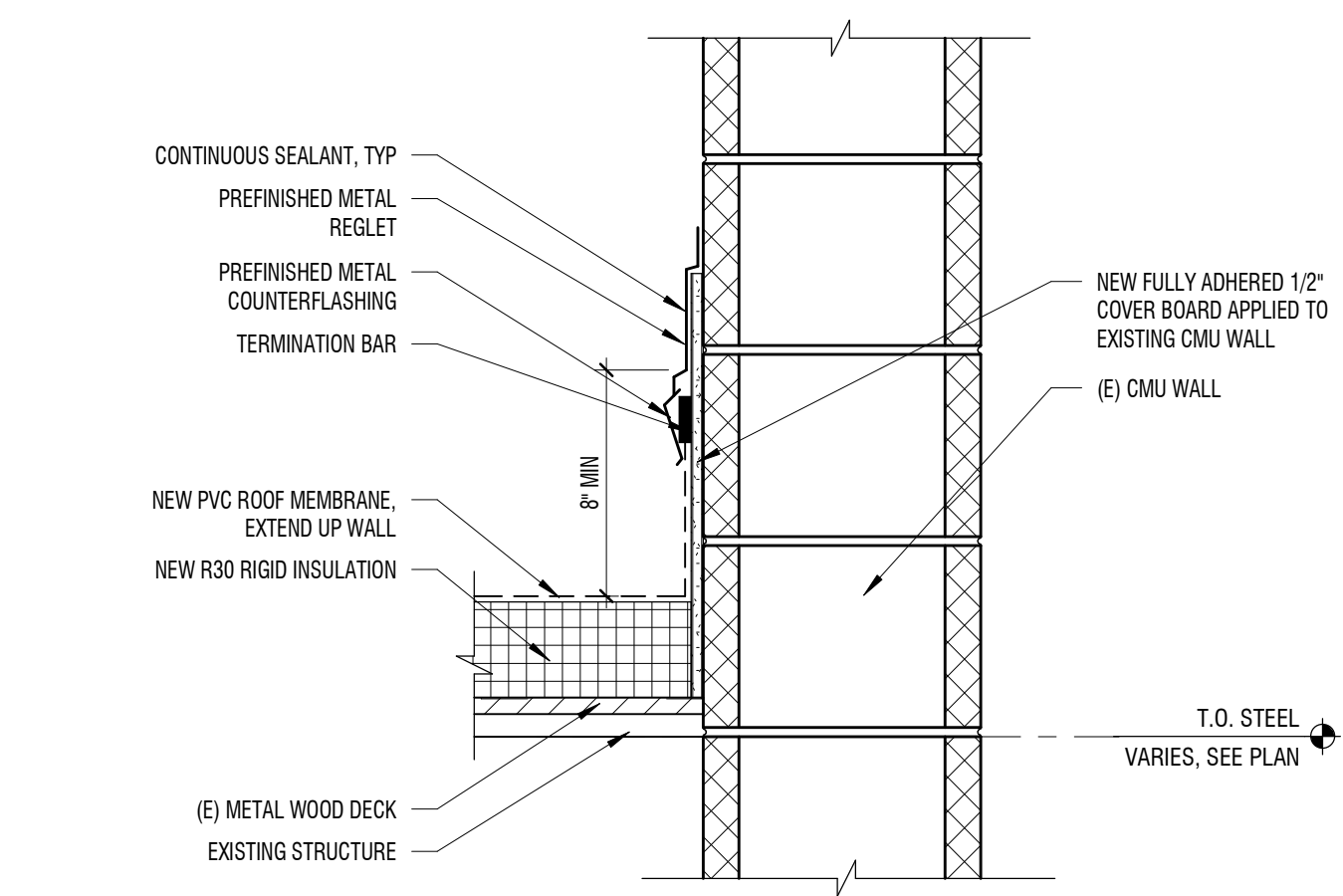


C1 PARAPET W/ METAL FASCIA

1 1/2" = 1'-0"

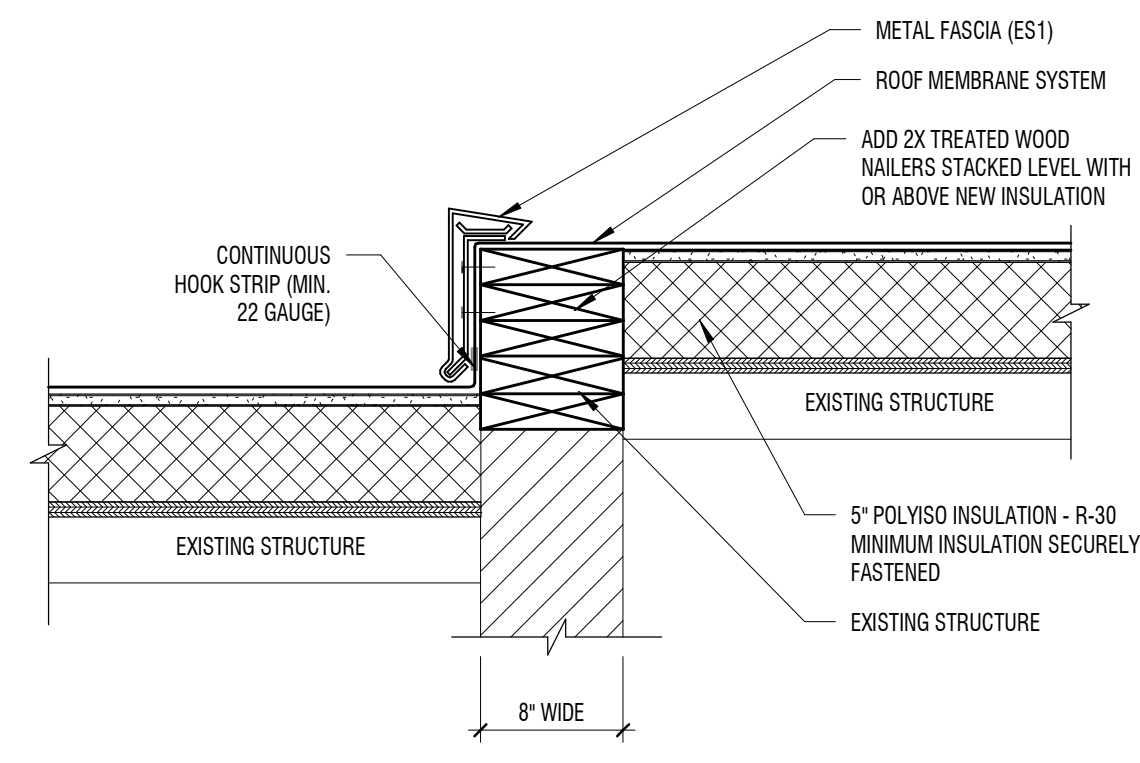
B1 PARAPET W/ METAL COPING CAP

1 1/2" = 1'-0"



A1 REGLET DETAIL

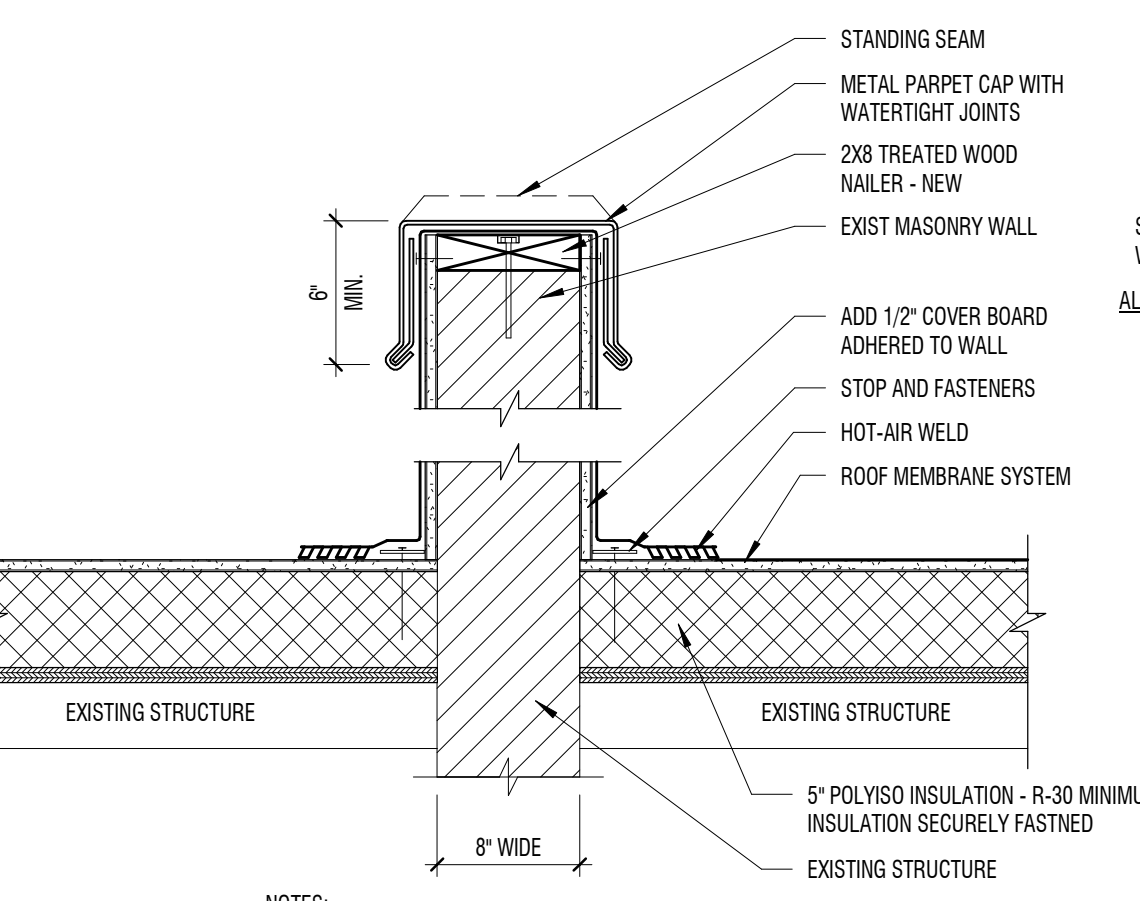
1 1/2" = 1'-0"



- NOTES:
- NAILER SHALL BE SECURELY ANCHORED SEALANT SHALL BE APPLIED TO CLEAN ACCEPTABLE SURFACES. TO THE DECK TO RESIST A MINIMUM FORCE OF 300 POUNDS PER LINEAR FOOT. REFER TO FACTORY DATA SHEET 1-49

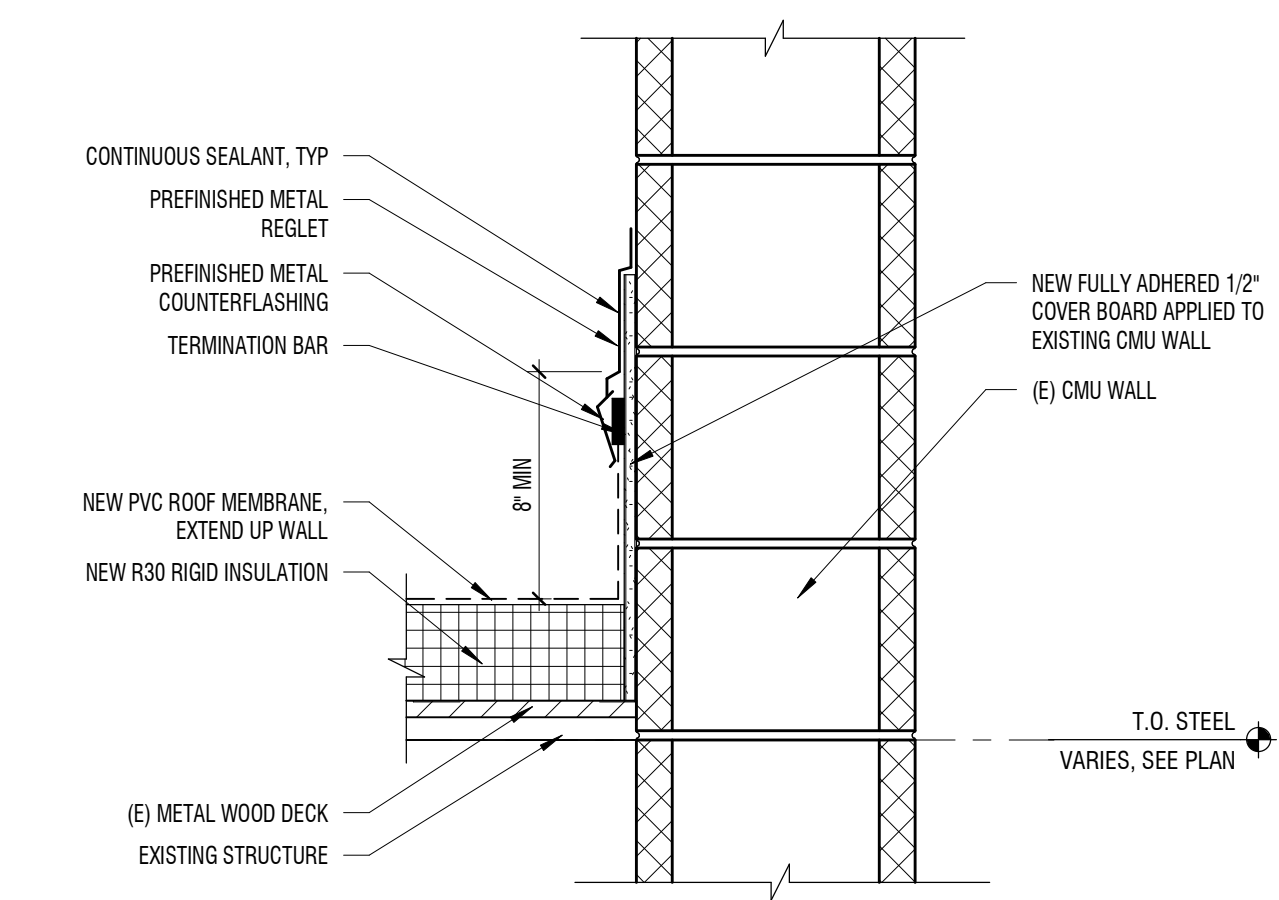
C1 PARAPET W/ METAL FASCIA

1 1/2" = 1'-0"



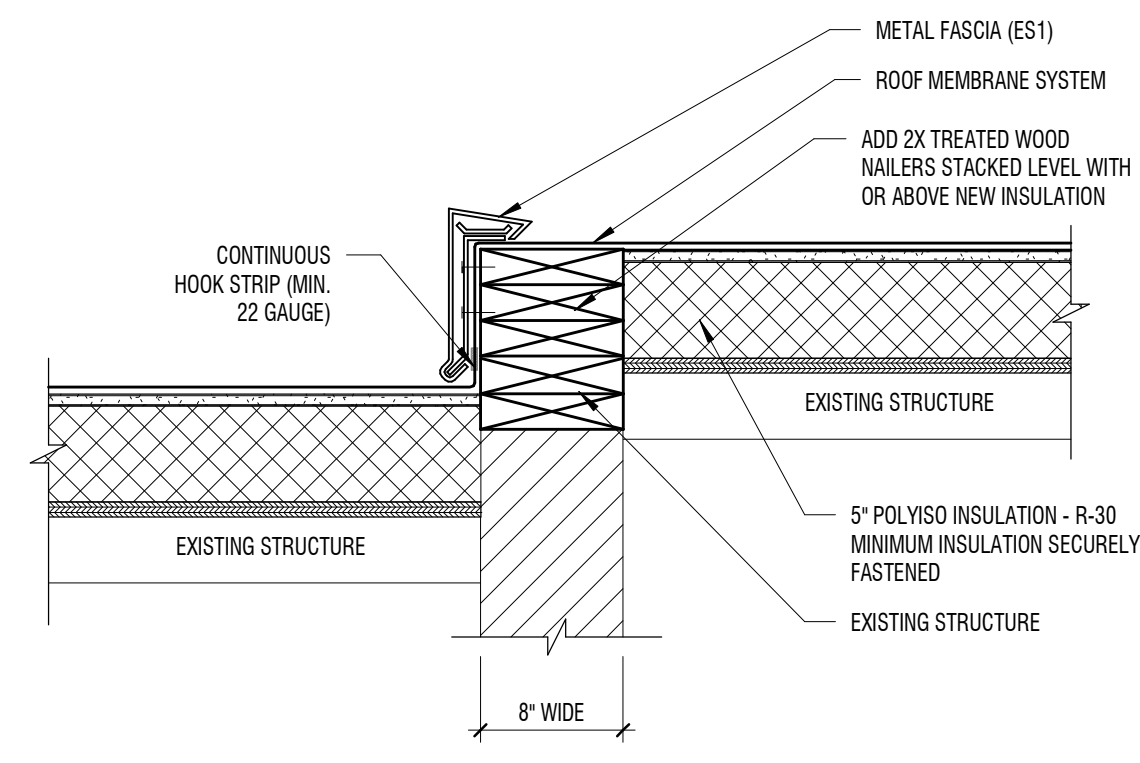
B1 PARAPET W/ METAL COPING CAP

1 1/2" = 1'-0"



A1 REGLET DETAIL

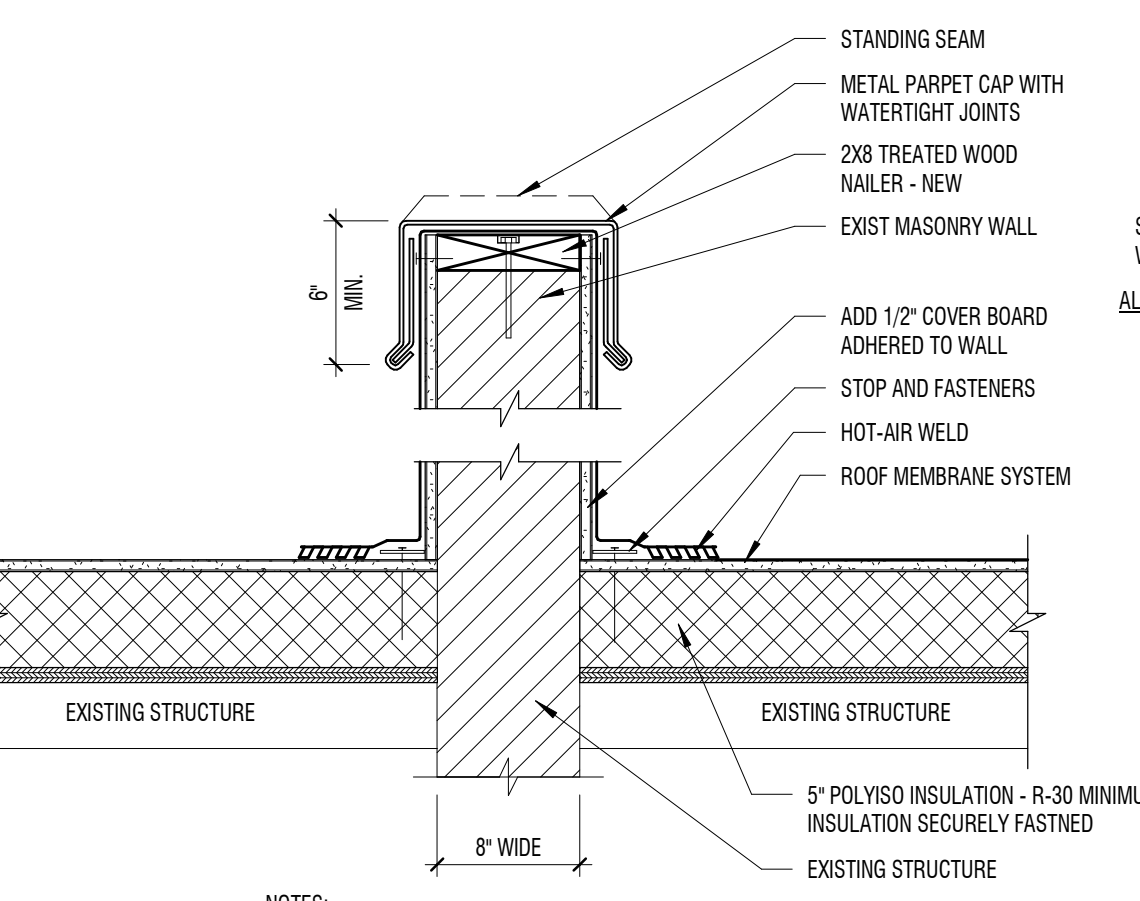
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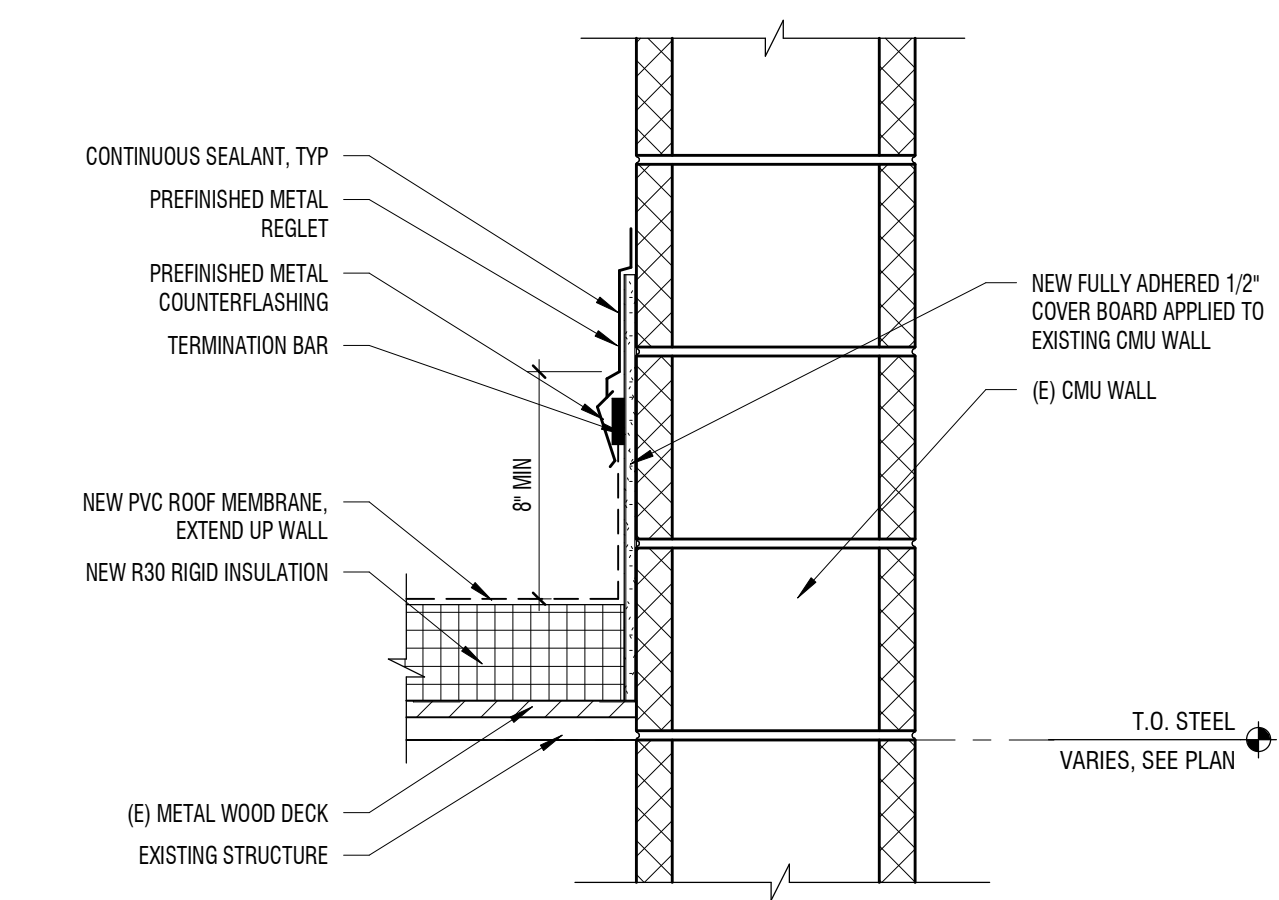
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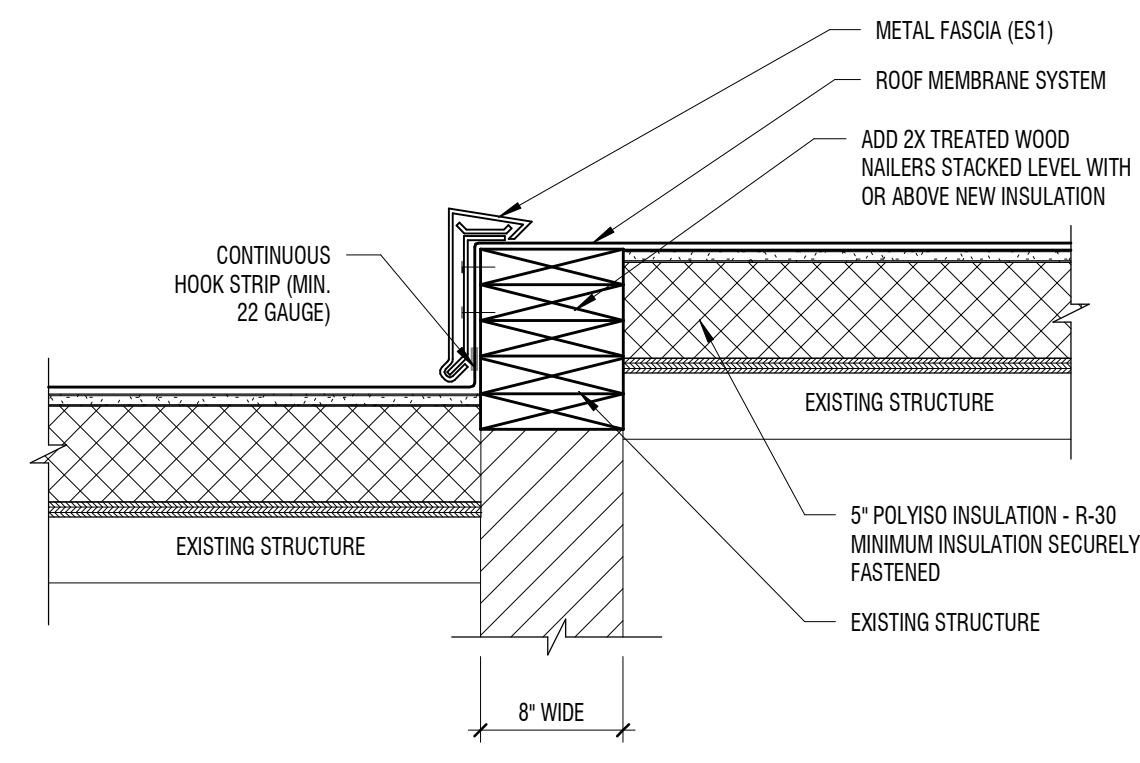
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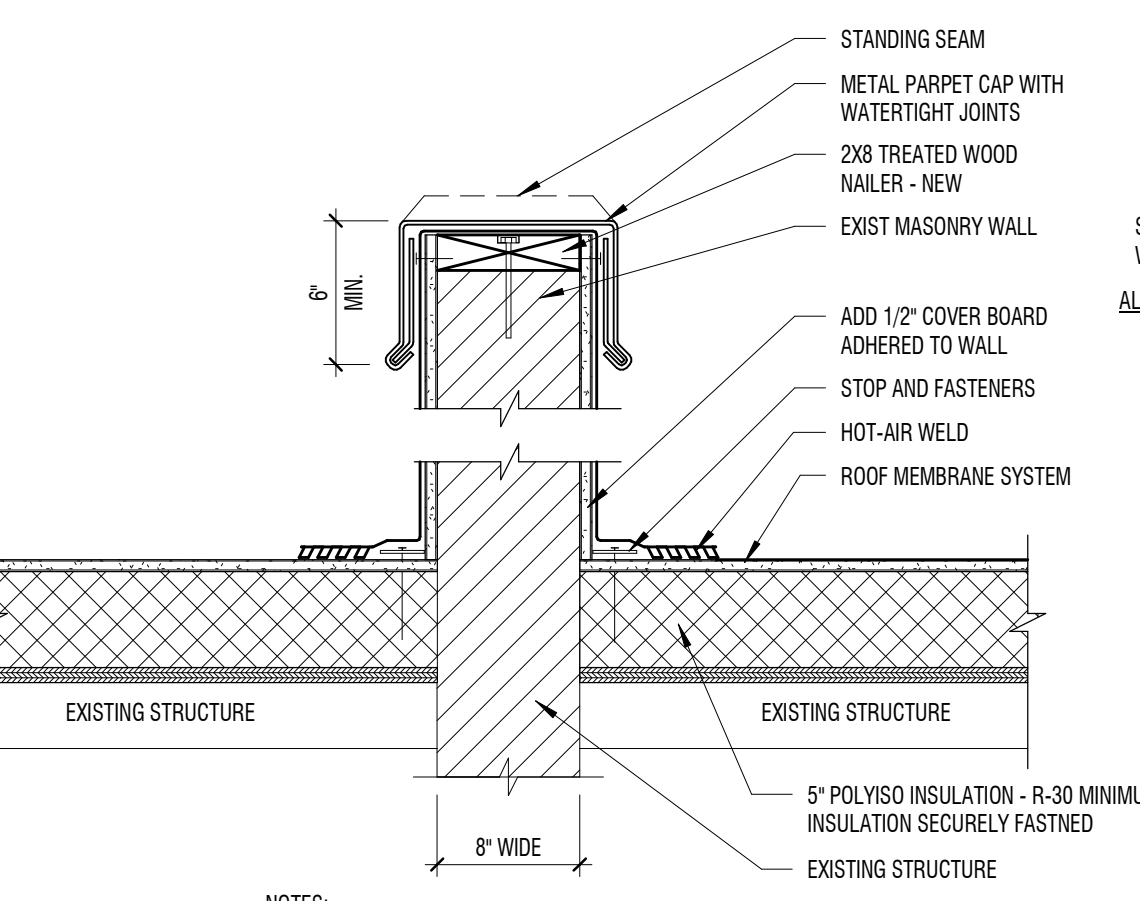
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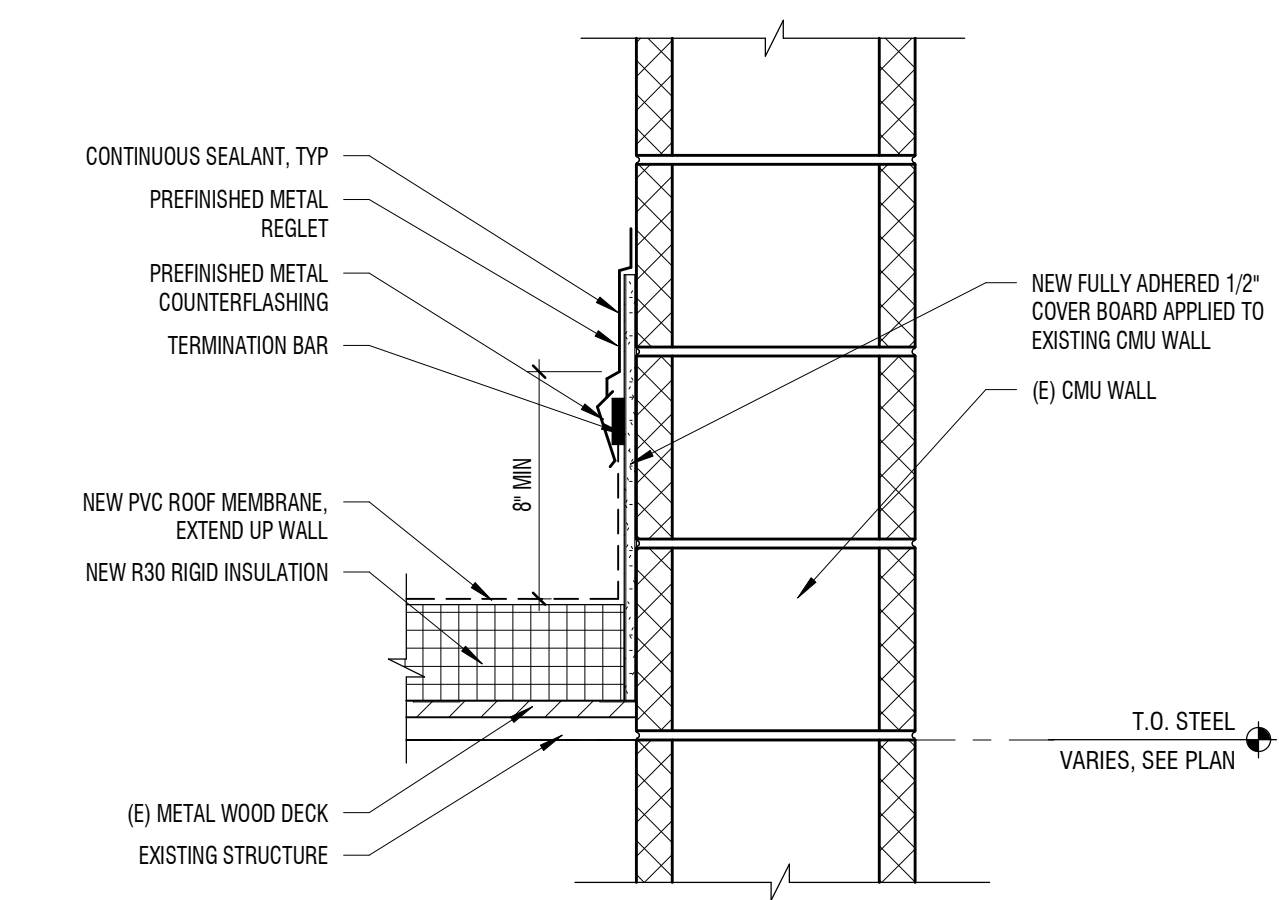
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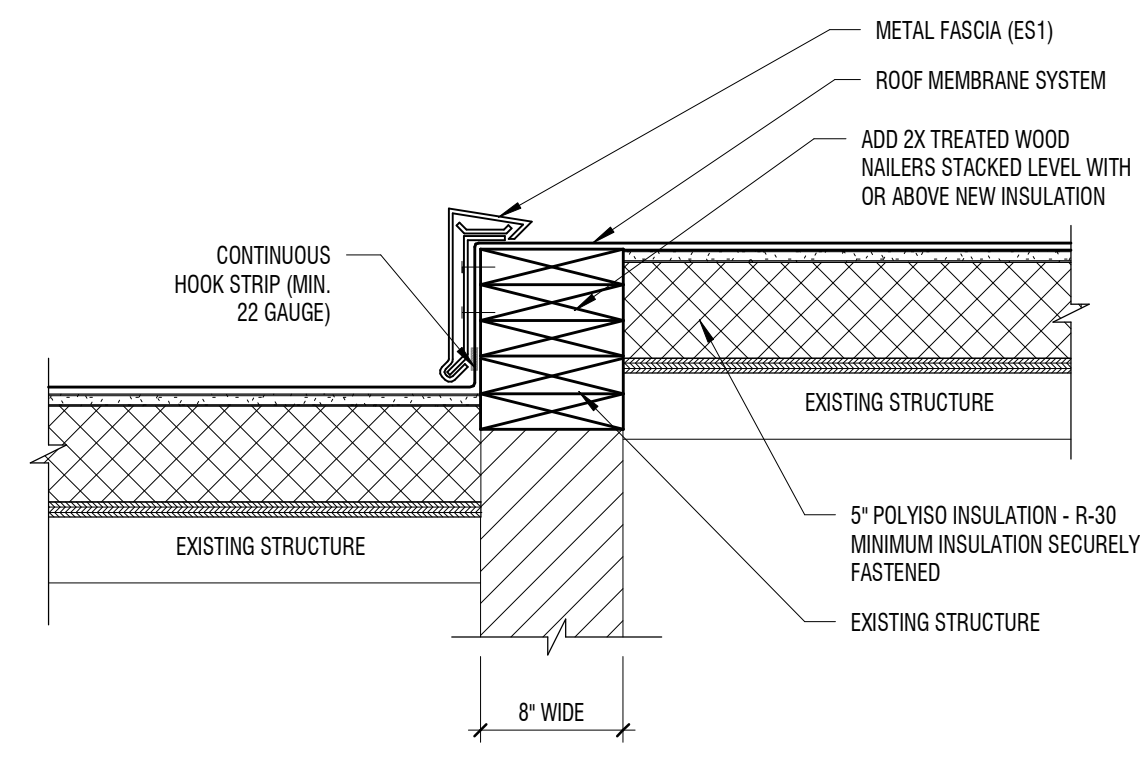
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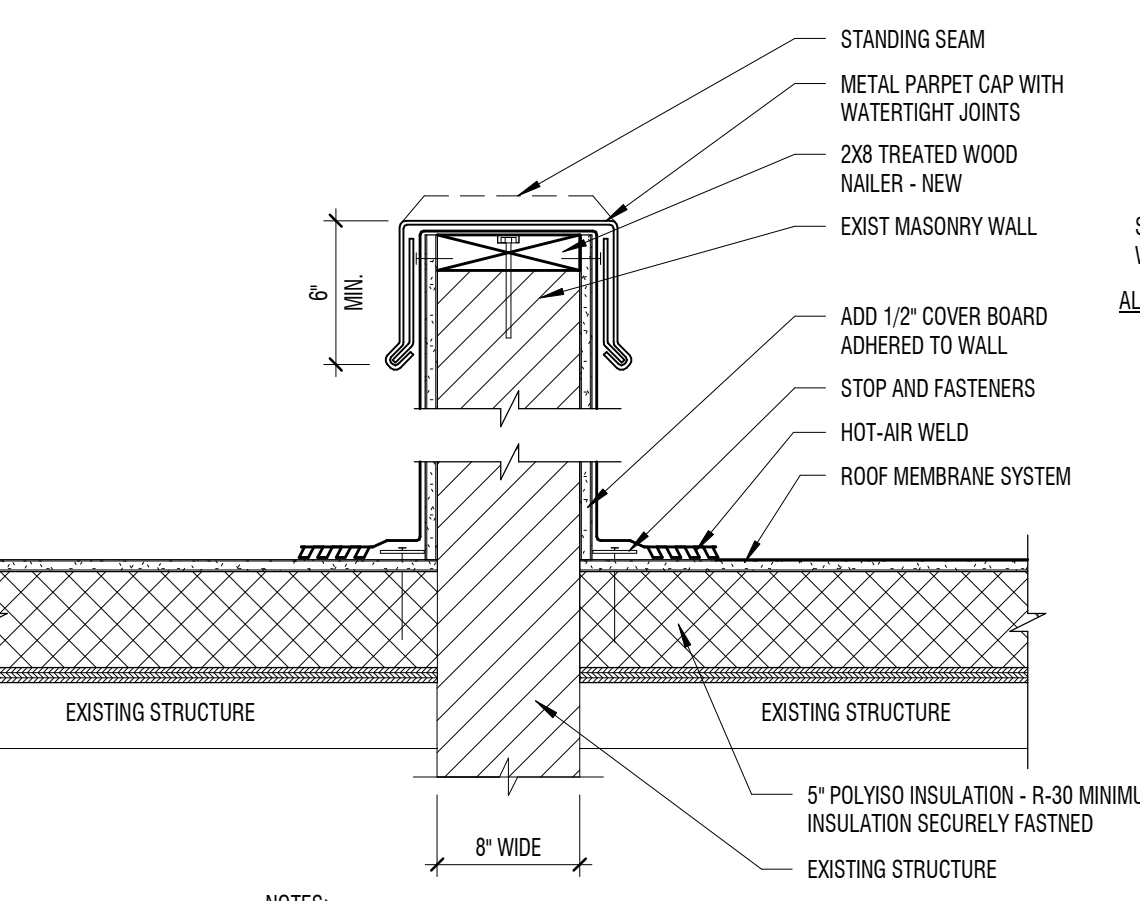
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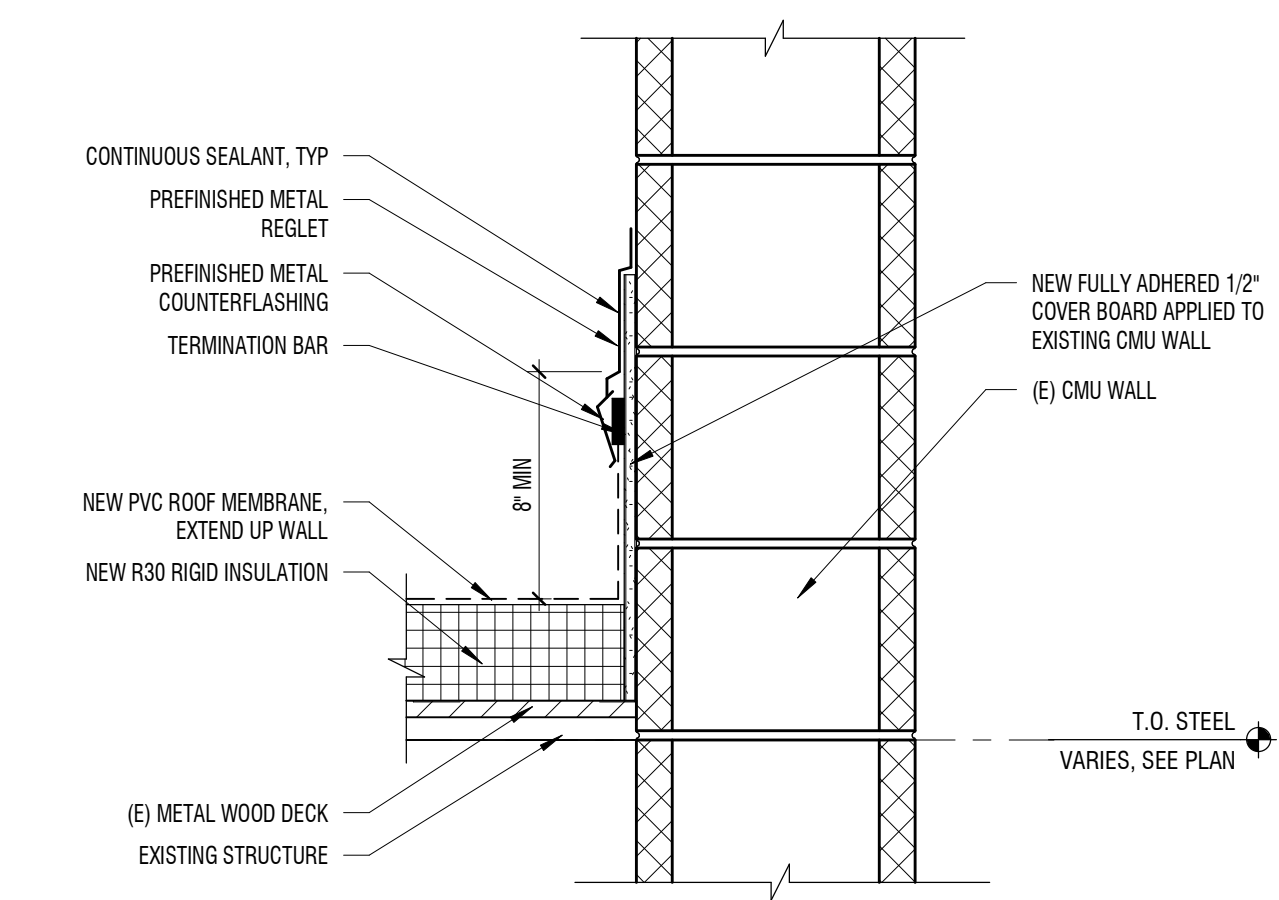
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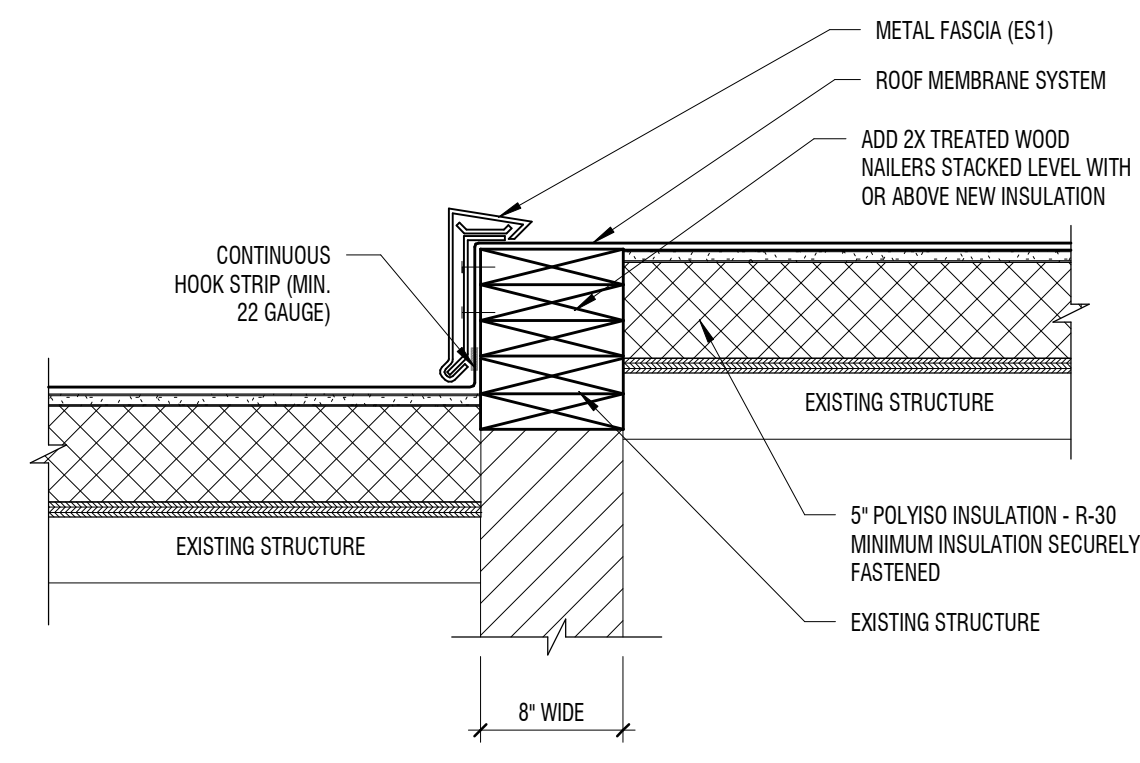
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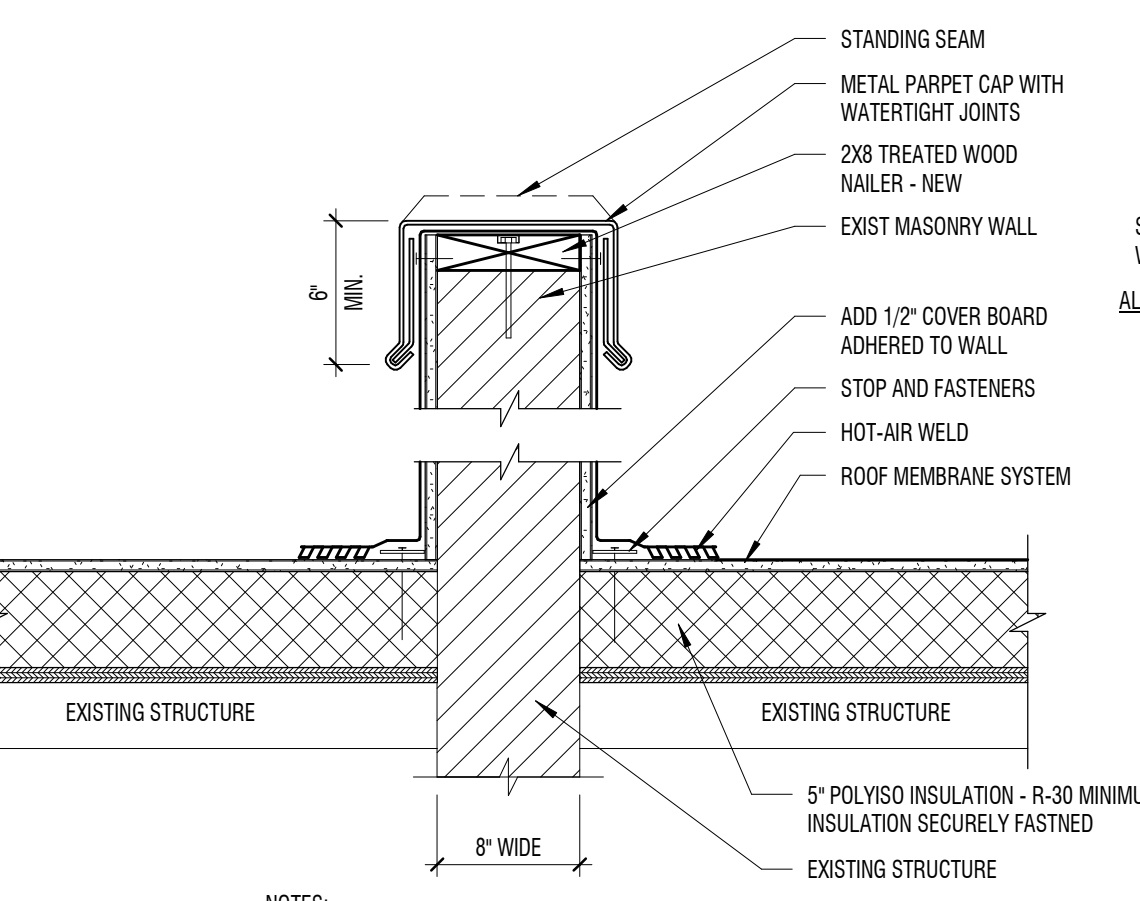
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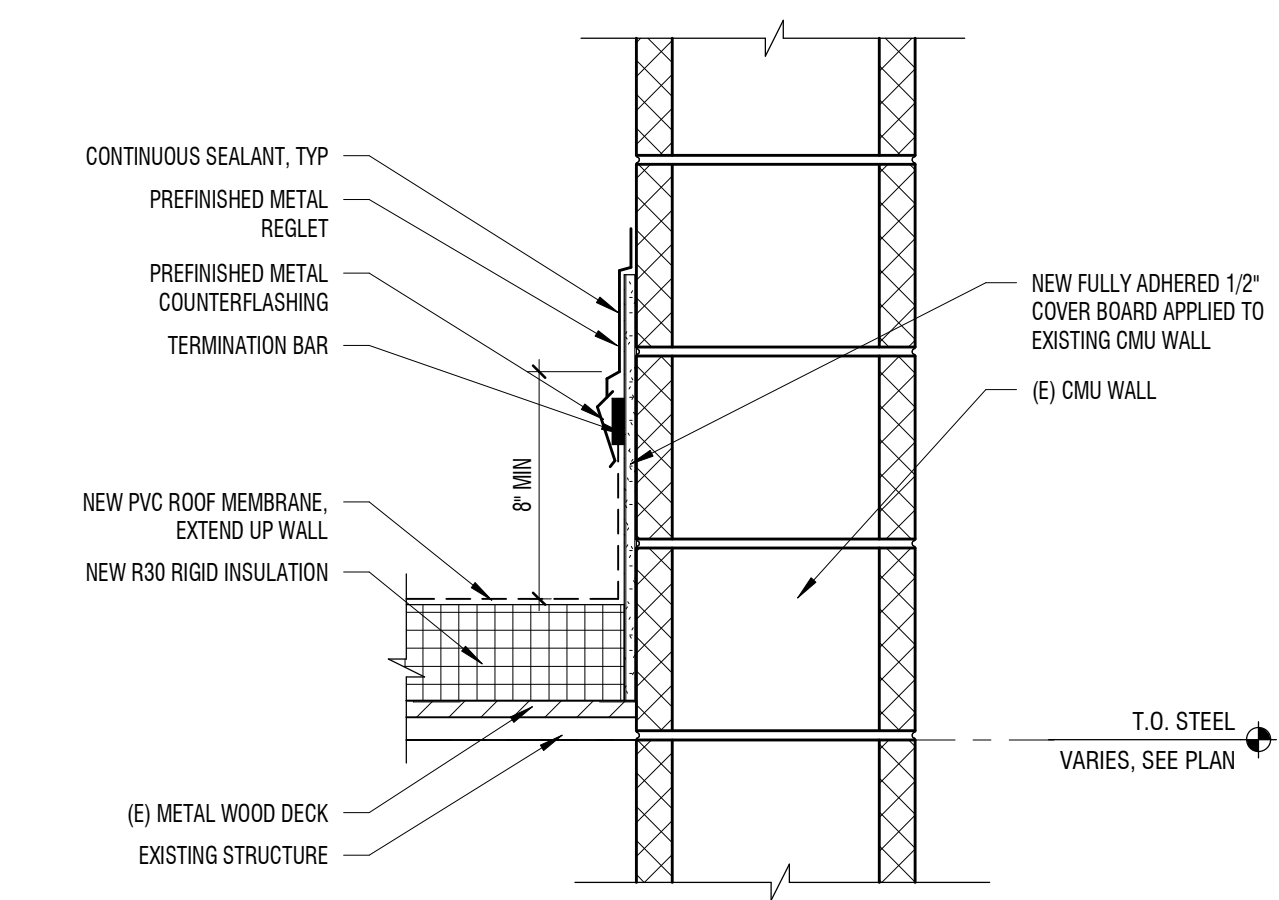
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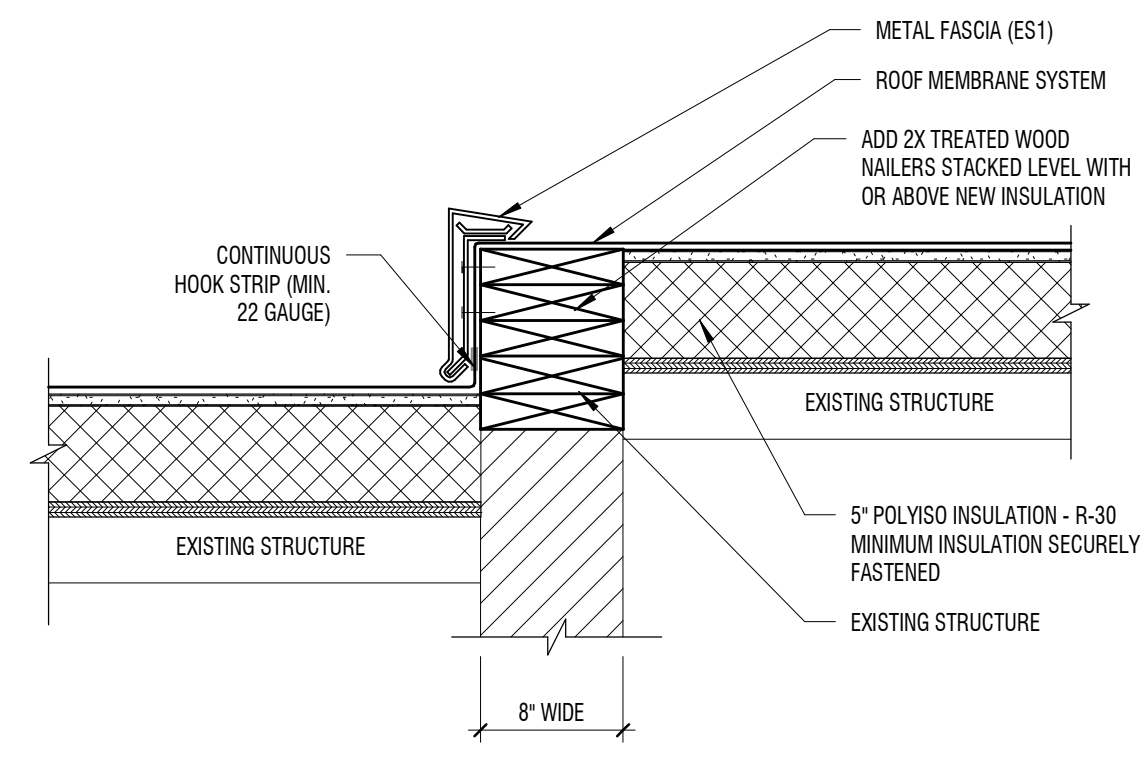
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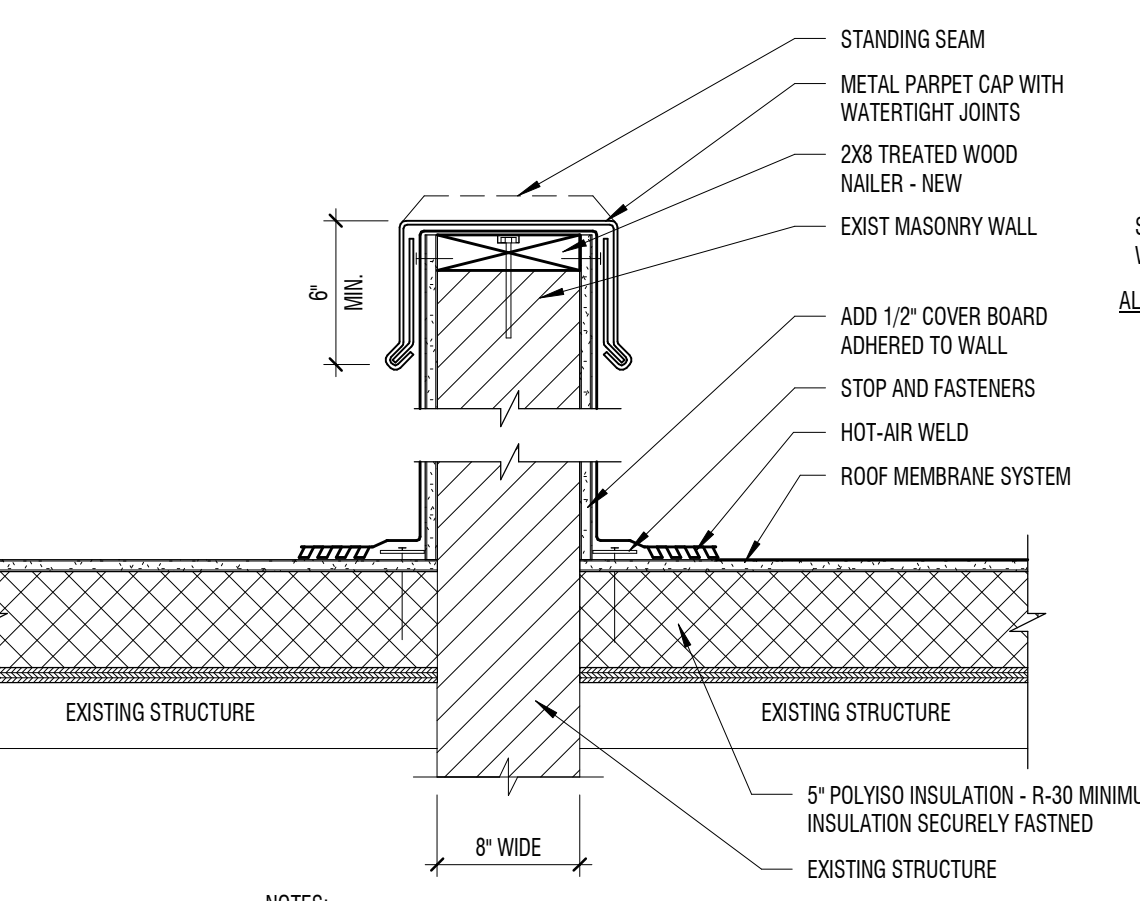
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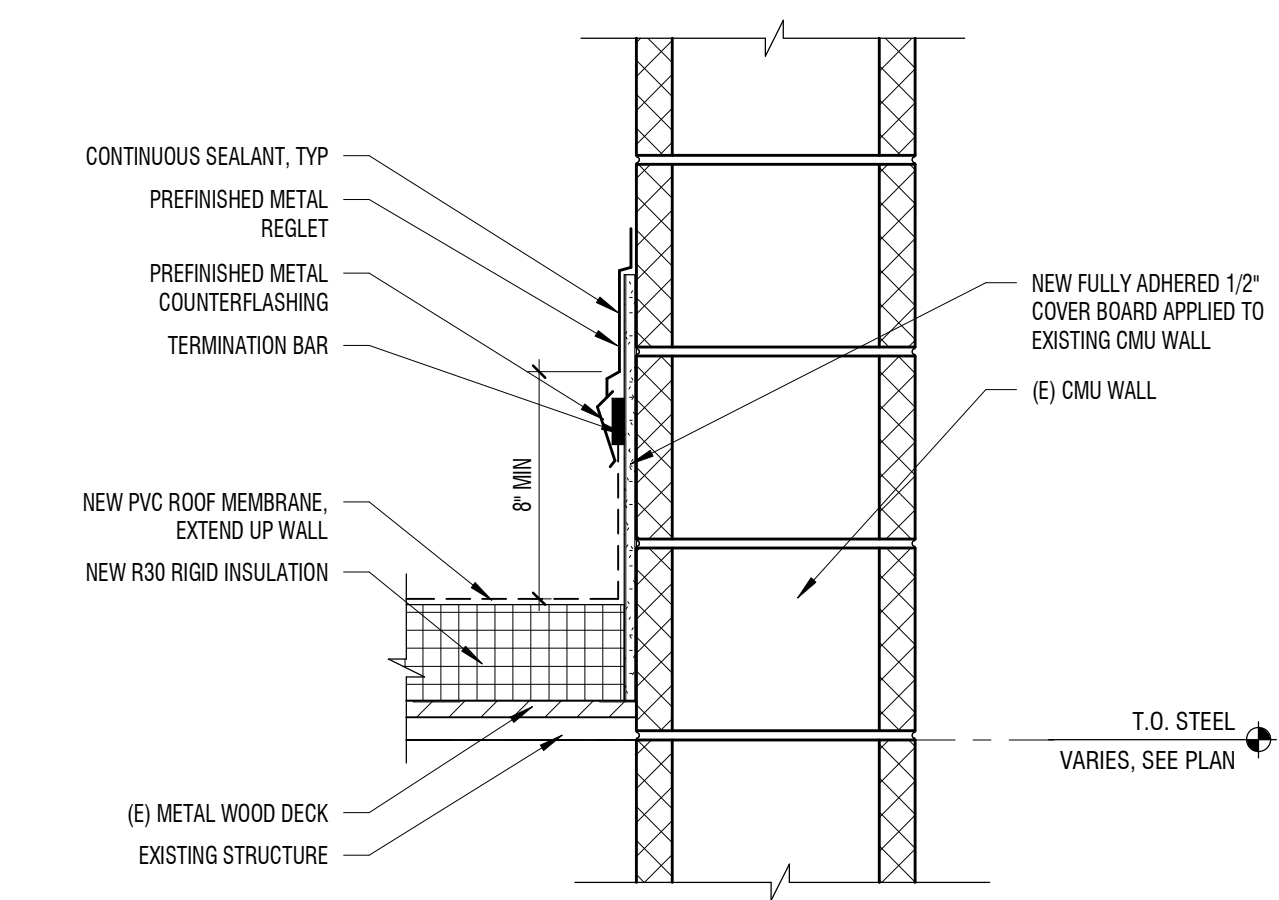
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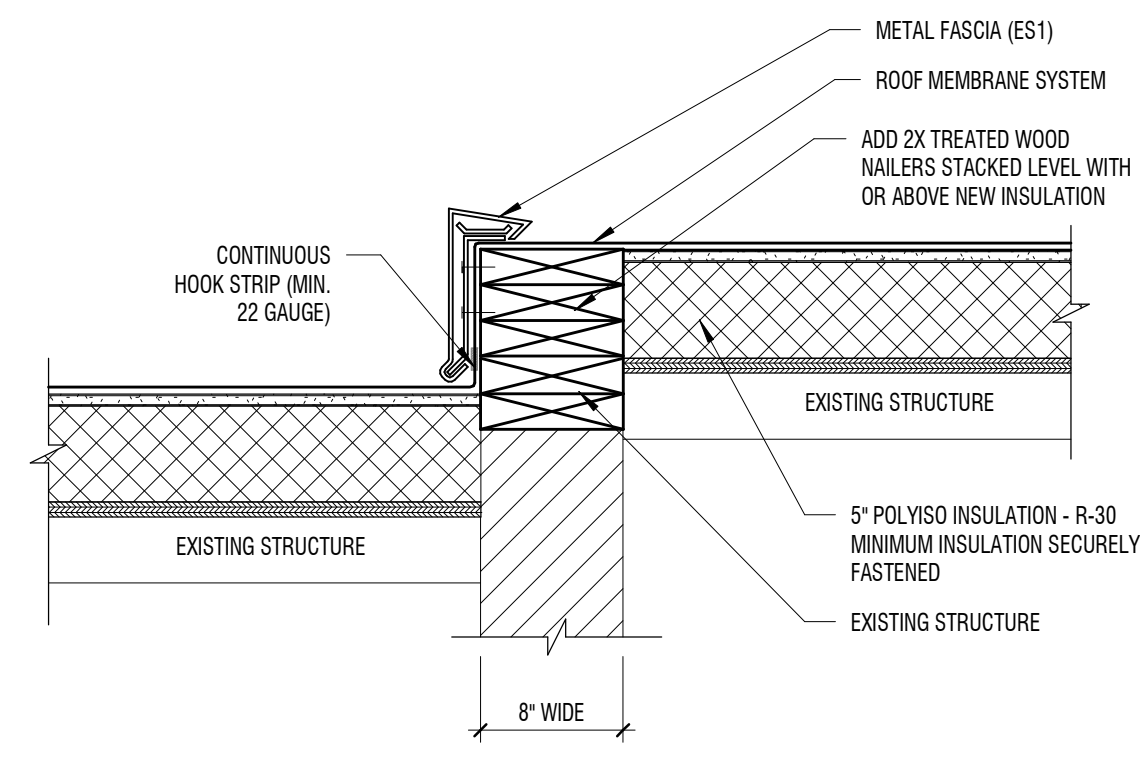
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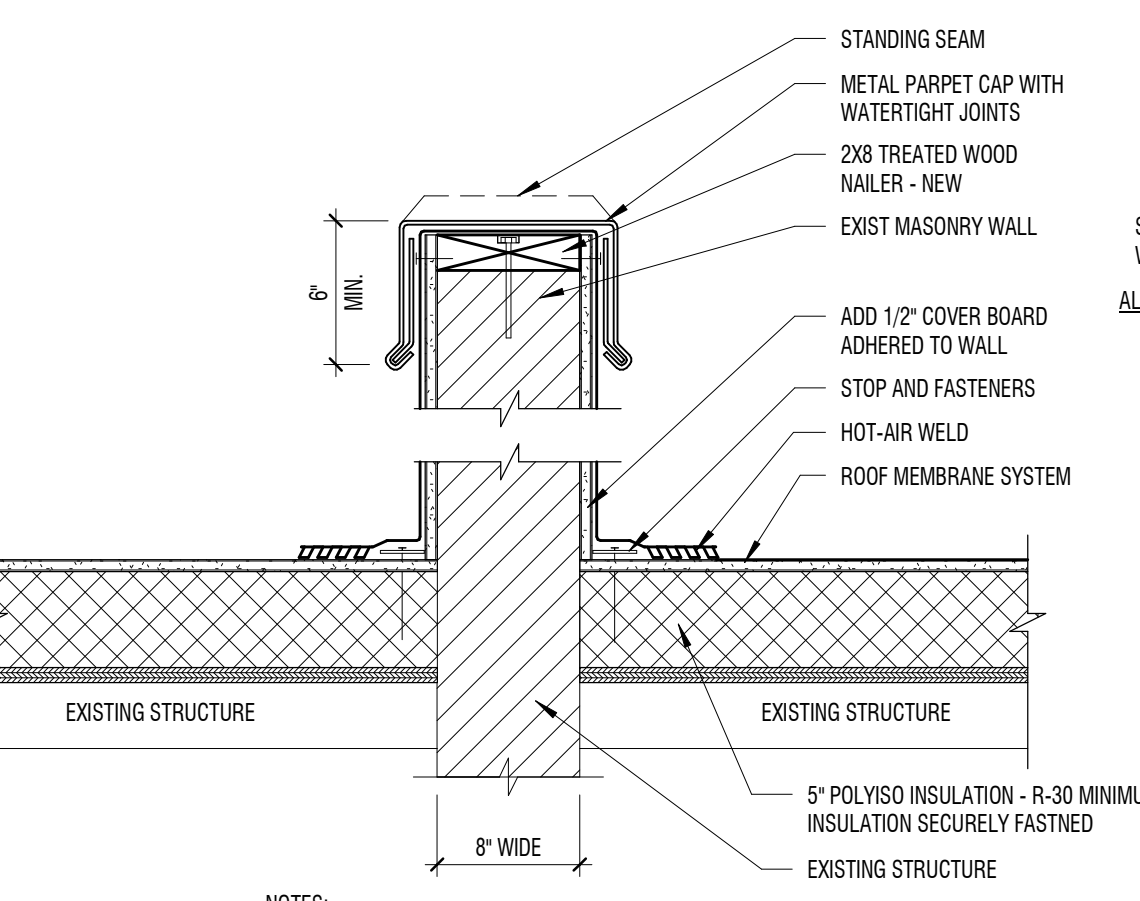
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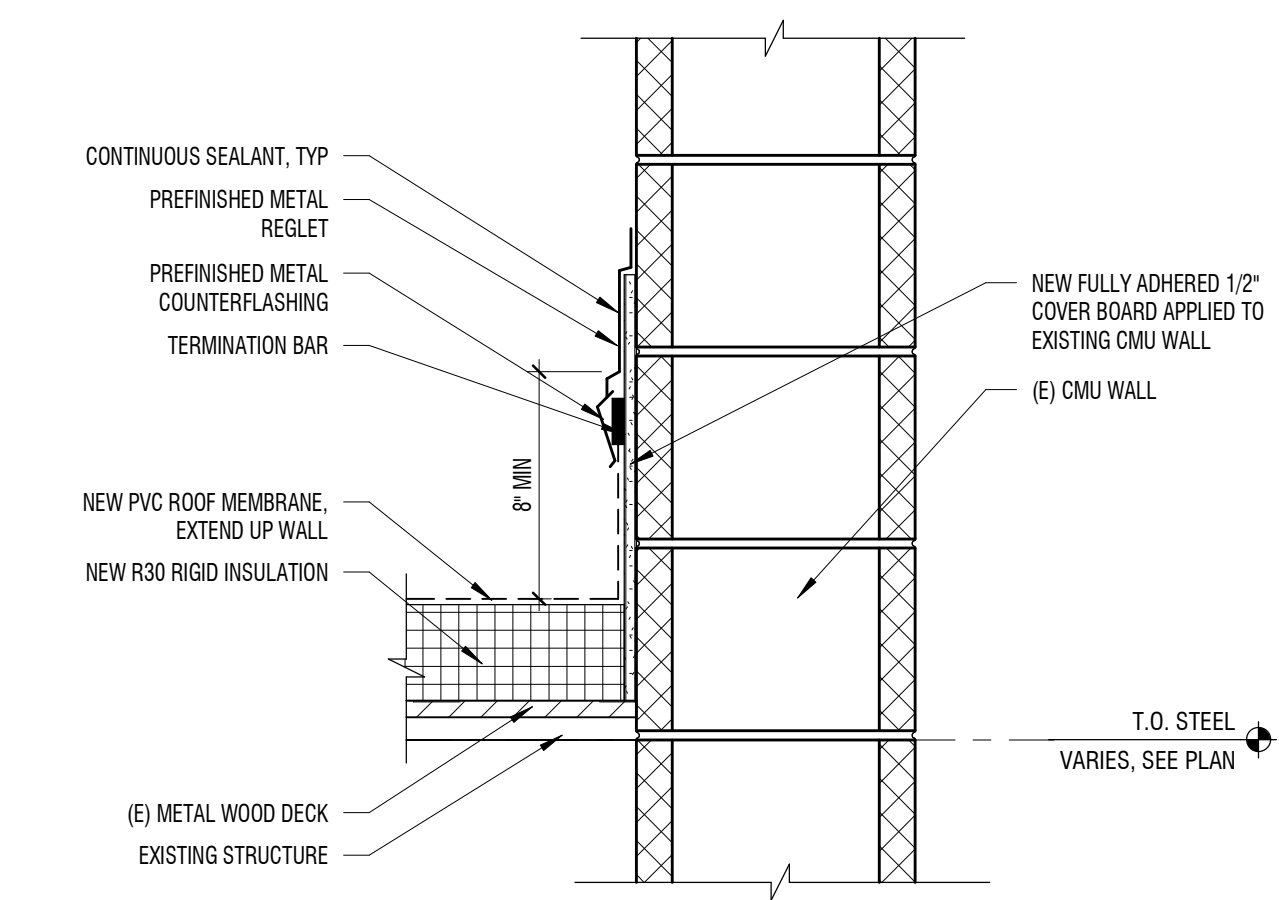
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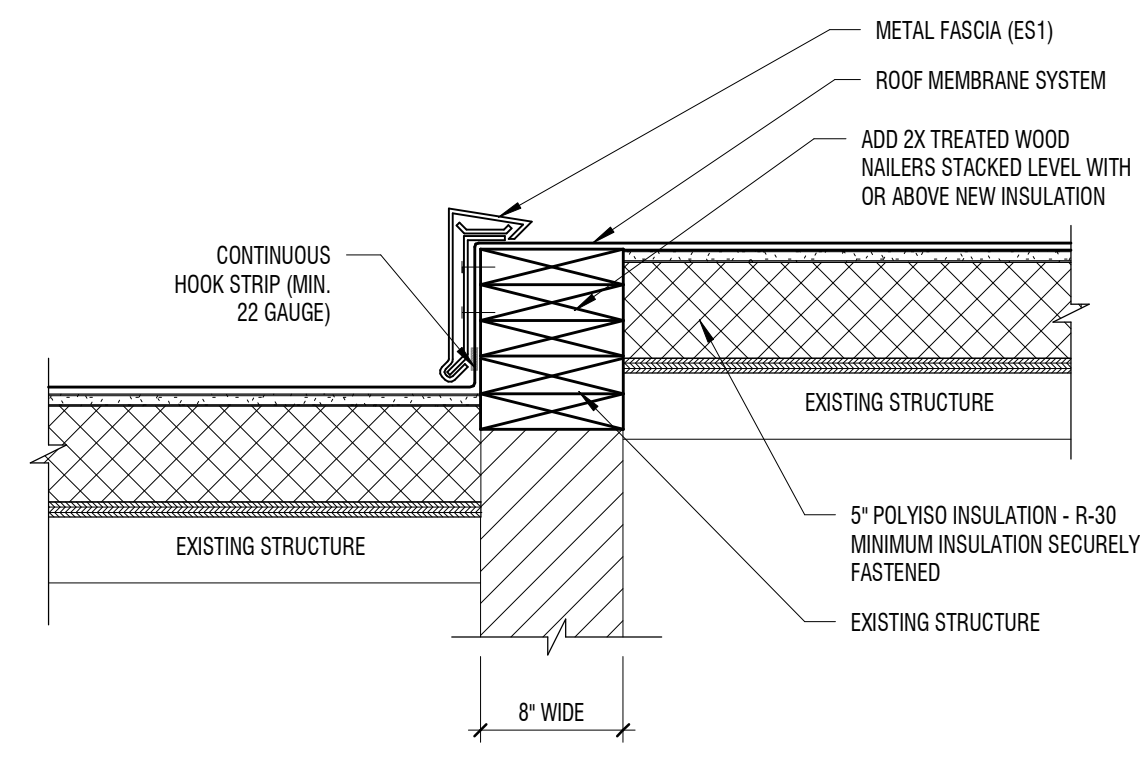
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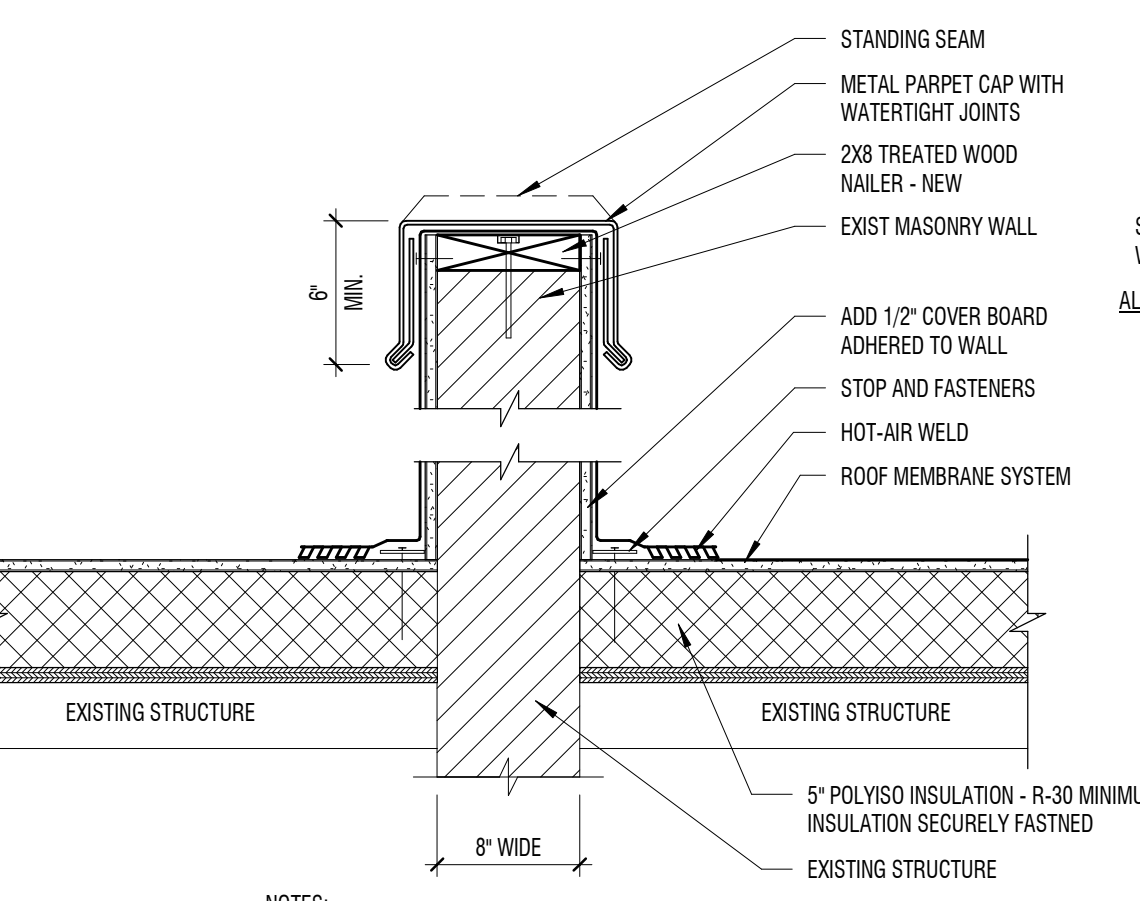
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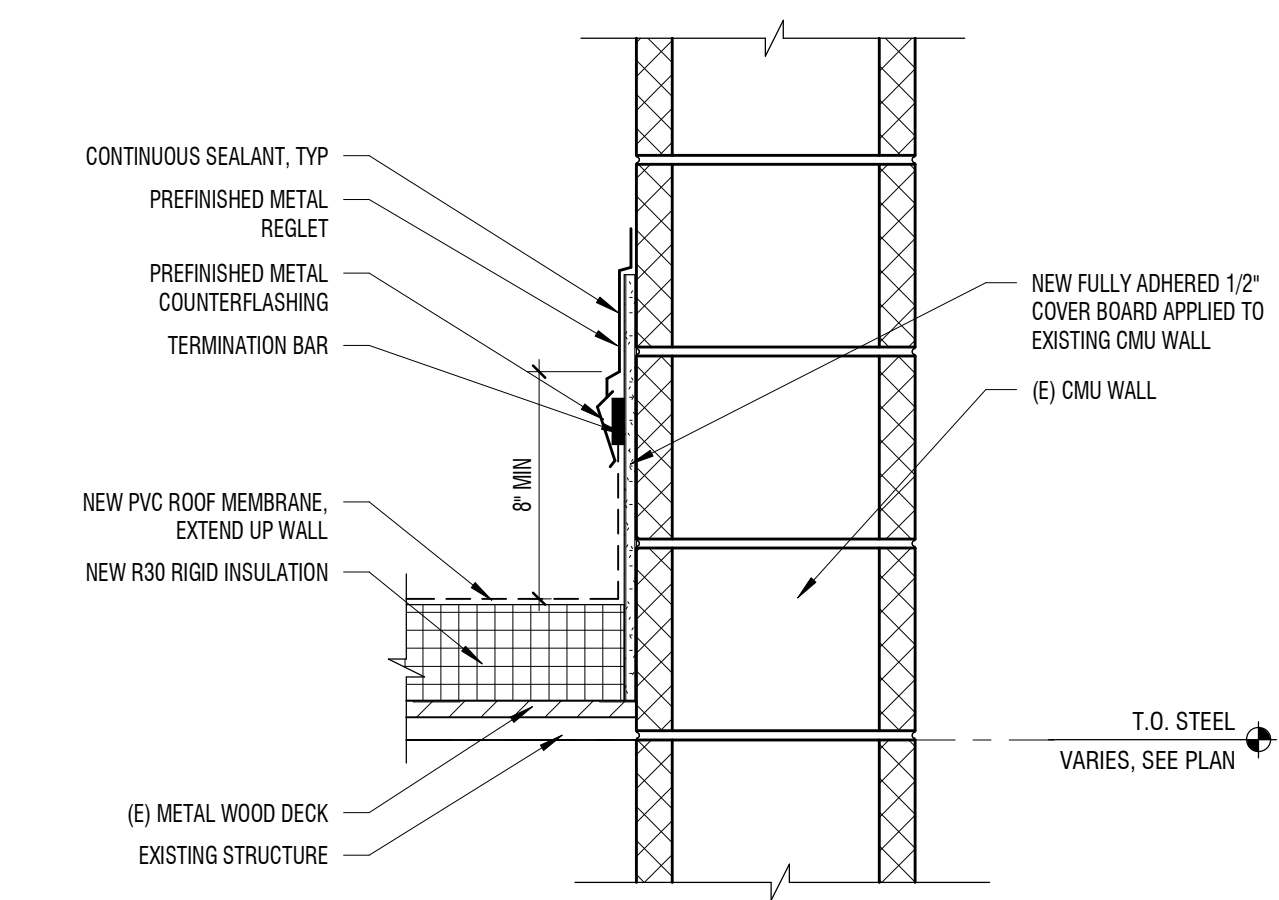
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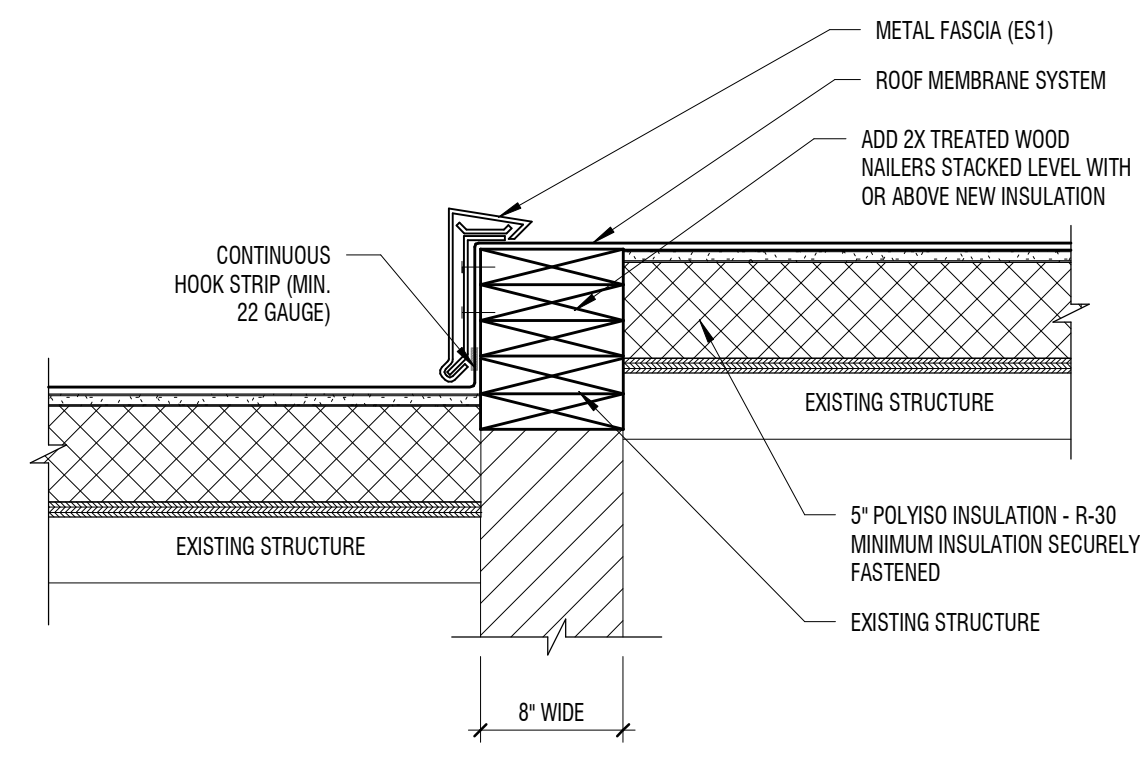
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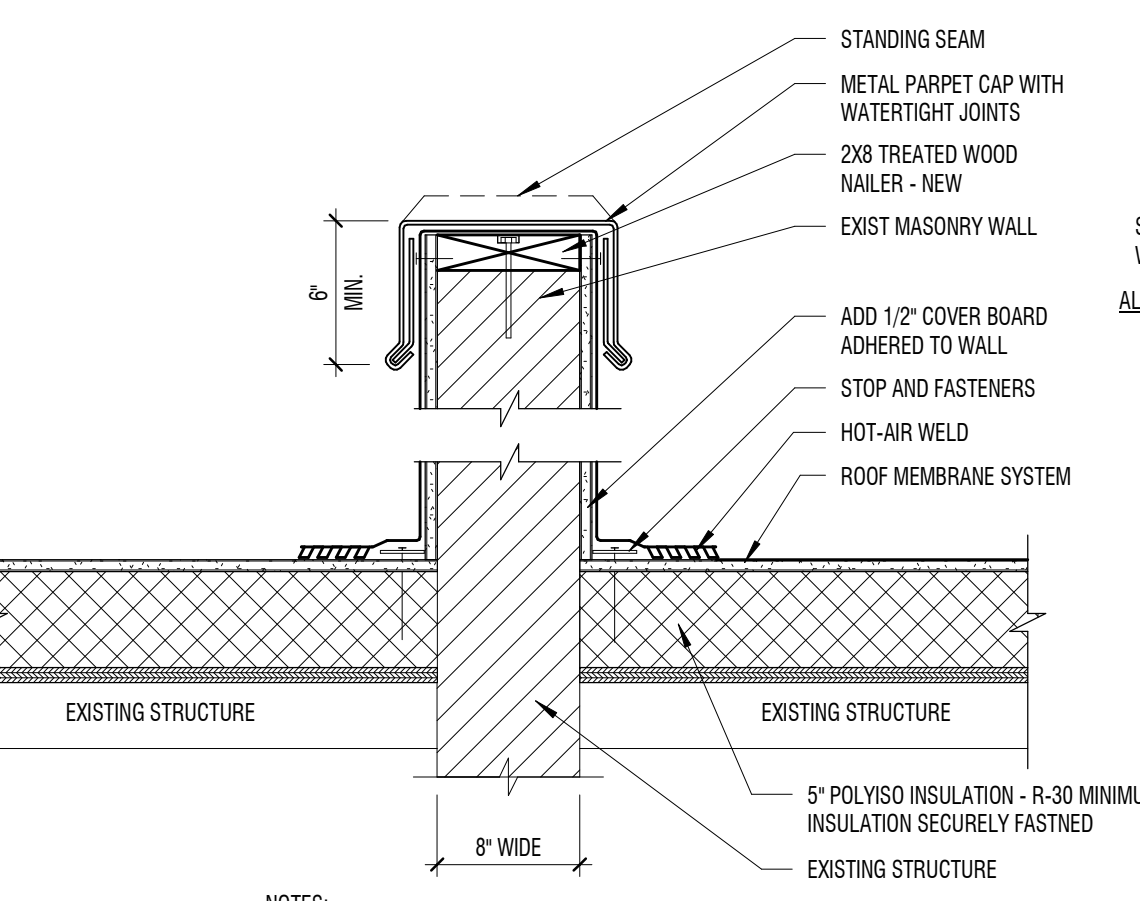
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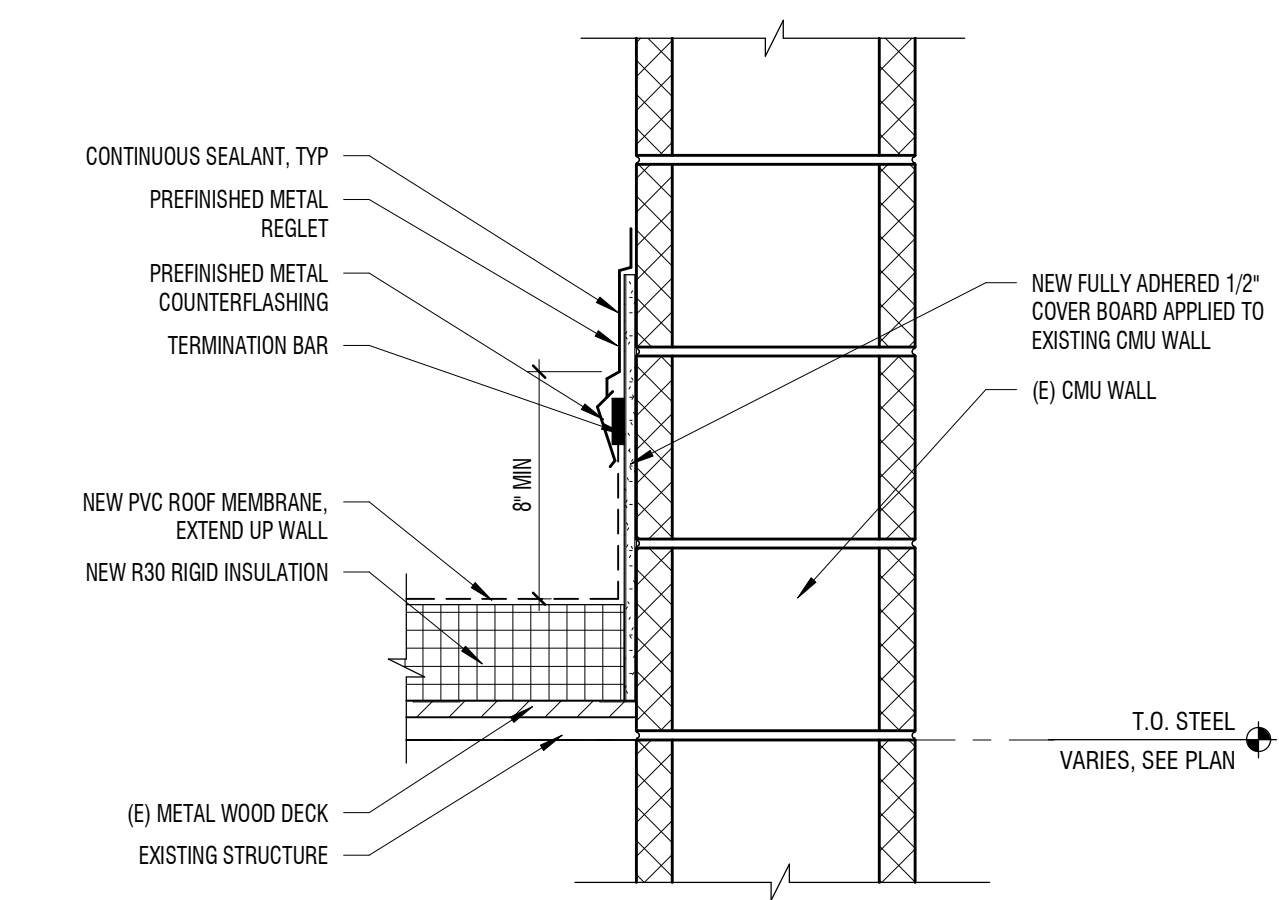
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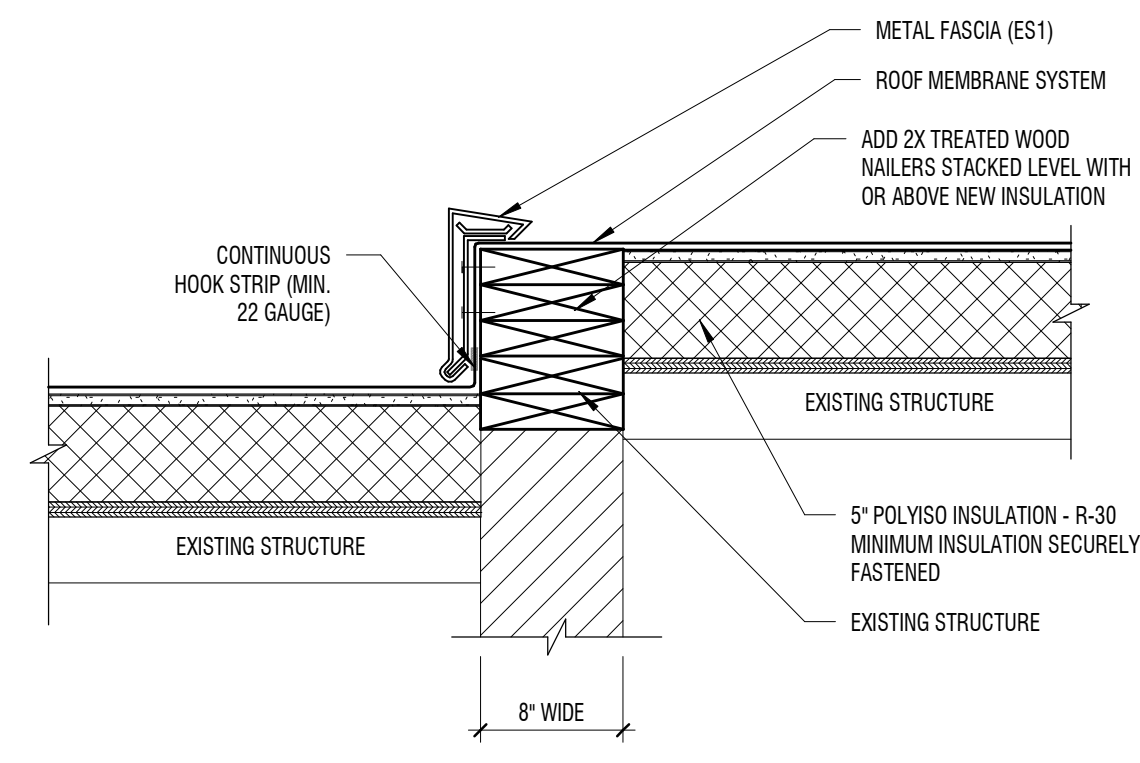
B1 PARAPET W/ METAL COPING CAP

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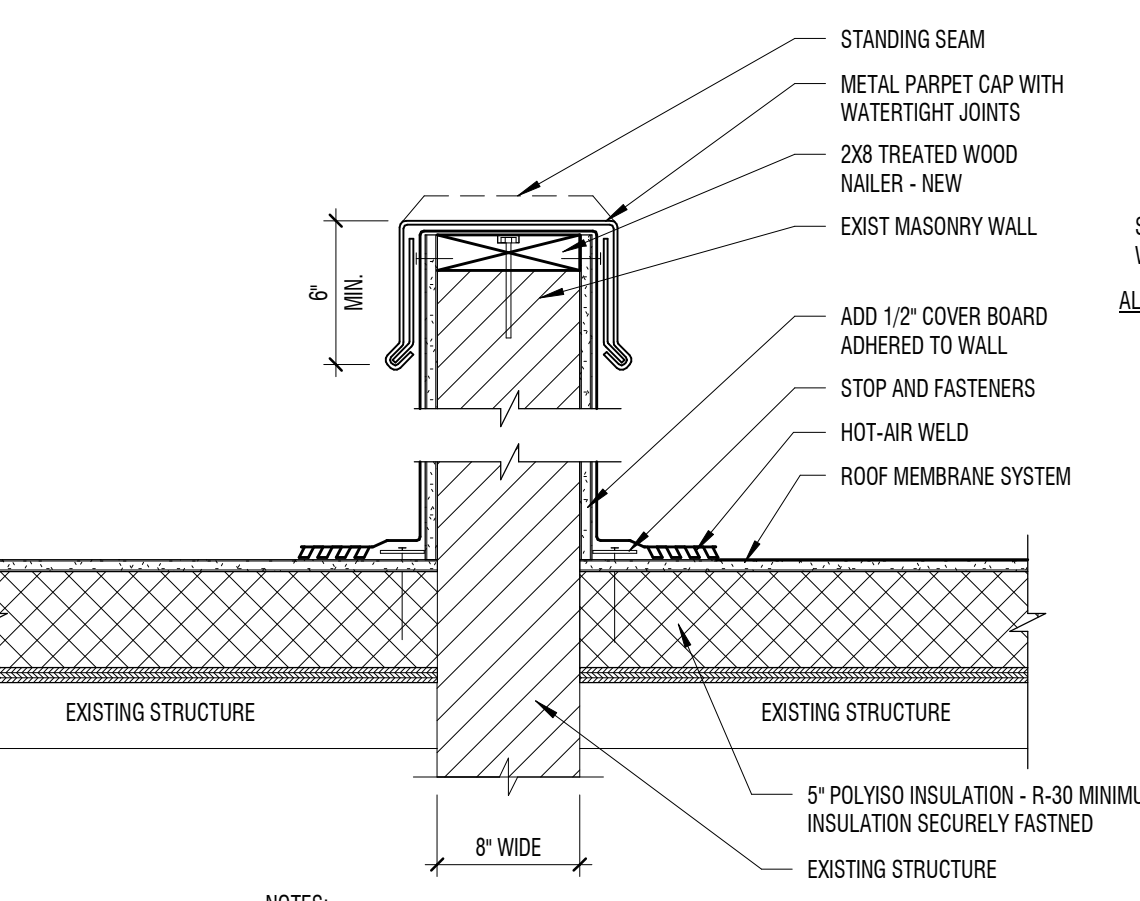
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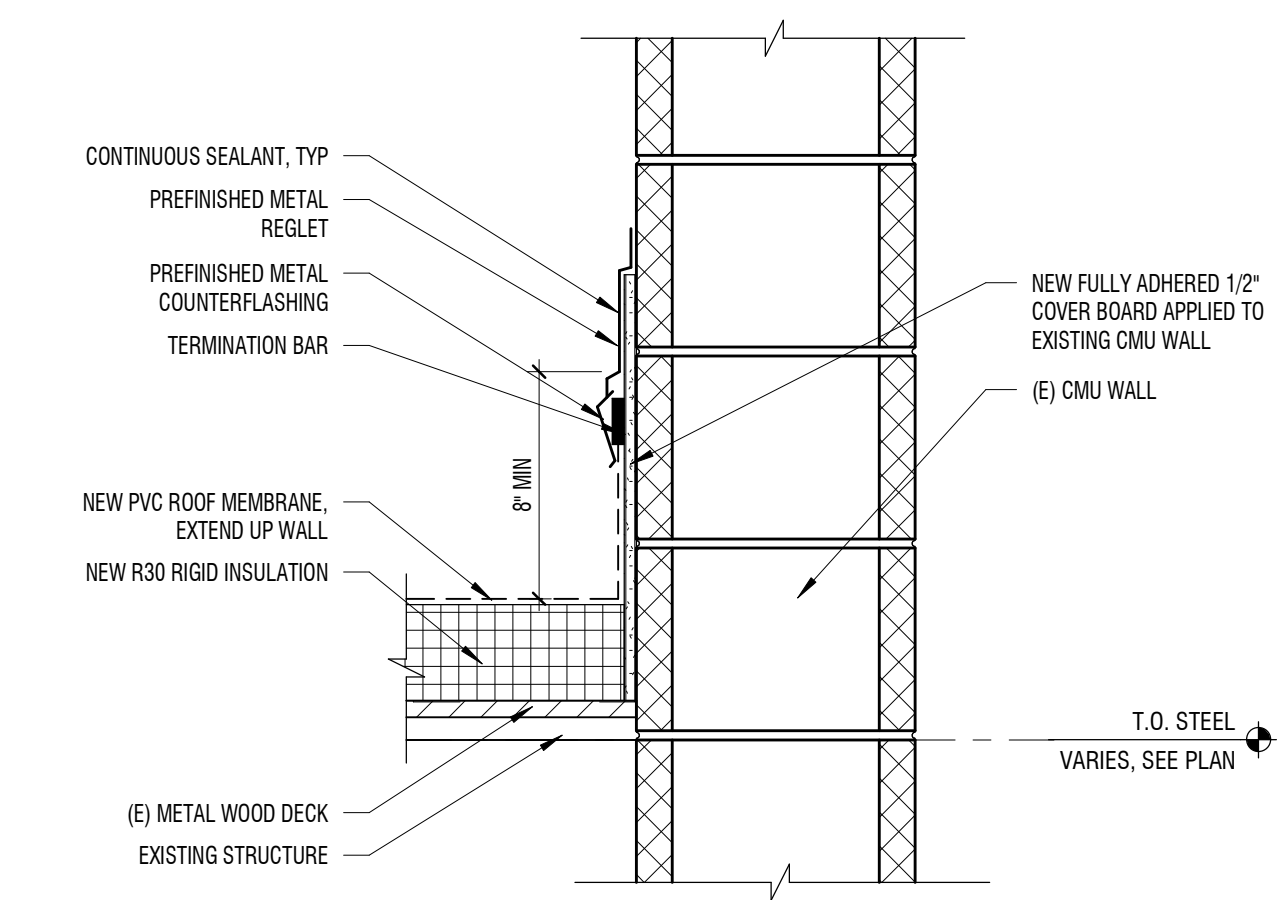
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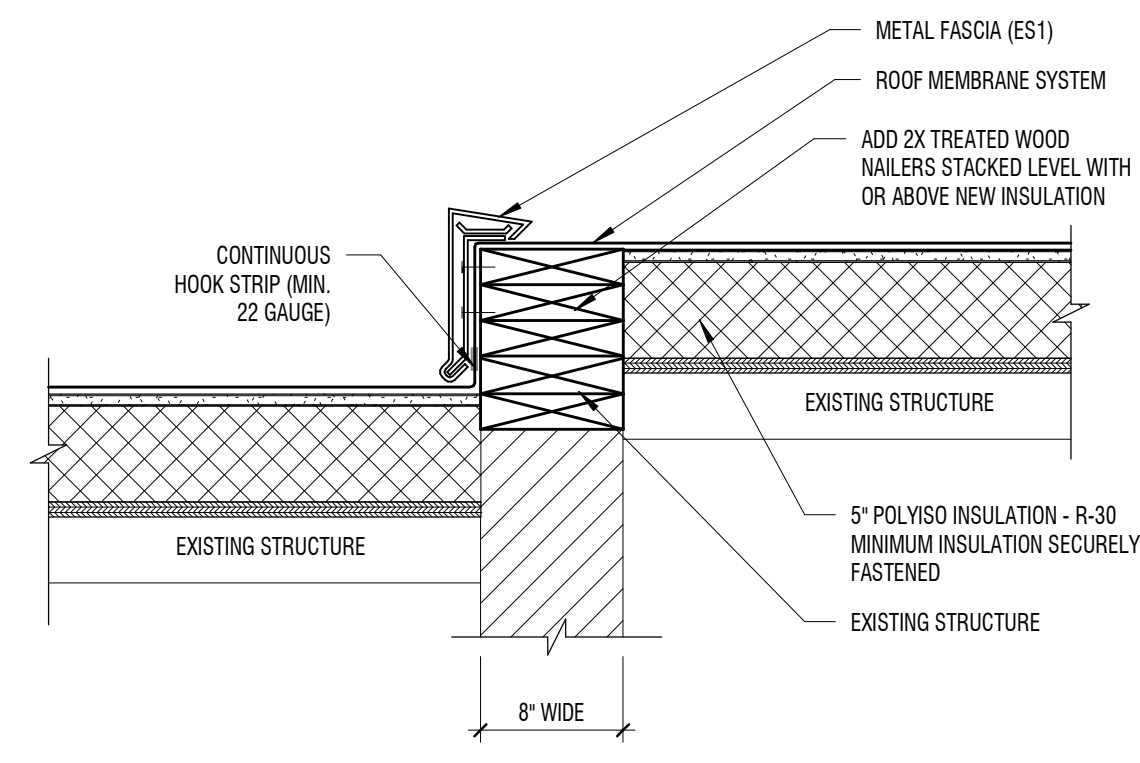
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1 1/2" = 1'-0"



A1 REGLET DETAIL

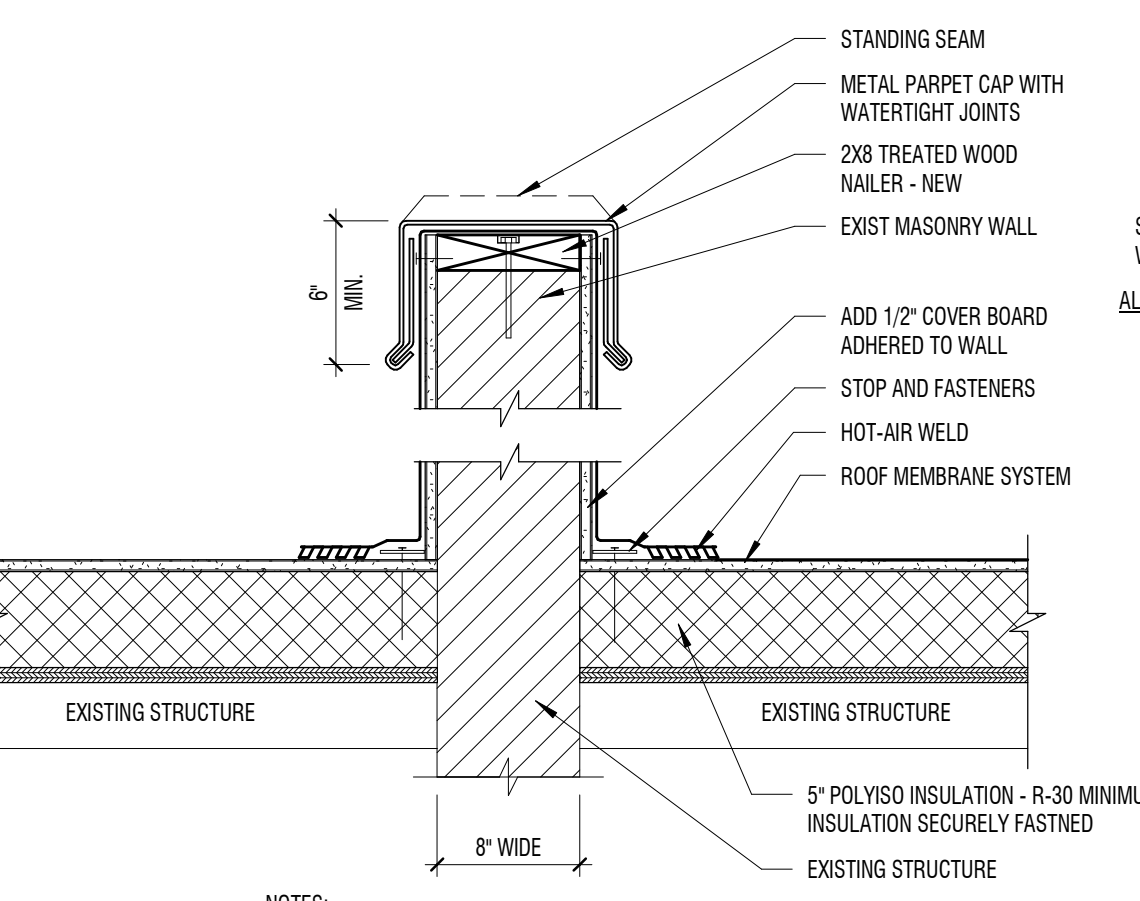
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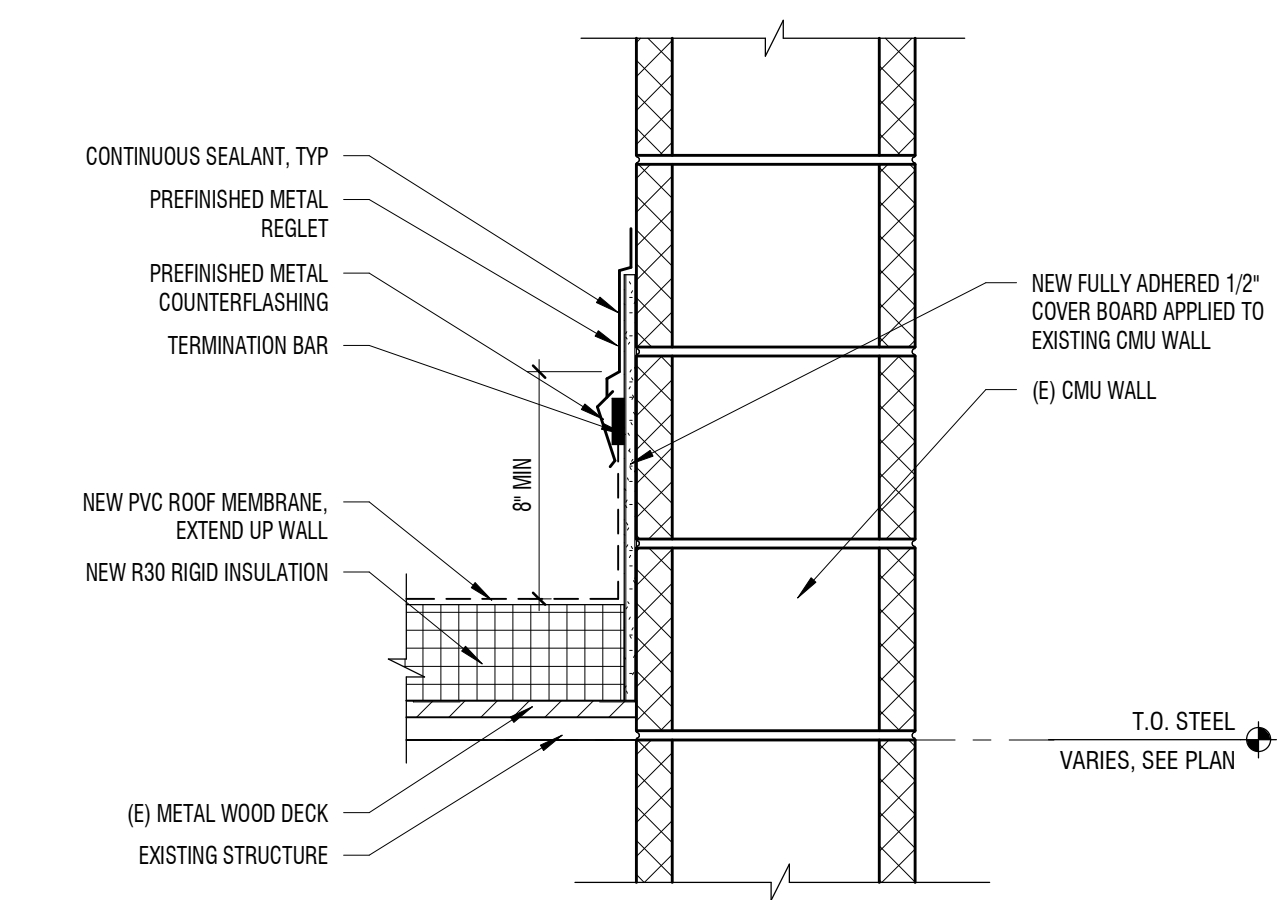
C1 PARAPET W/ METAL FASCIA

1 1/2" = 1'-0"



B1 PARAPET W/ METAL COPING CAP

1 1/2" = 1'-0"

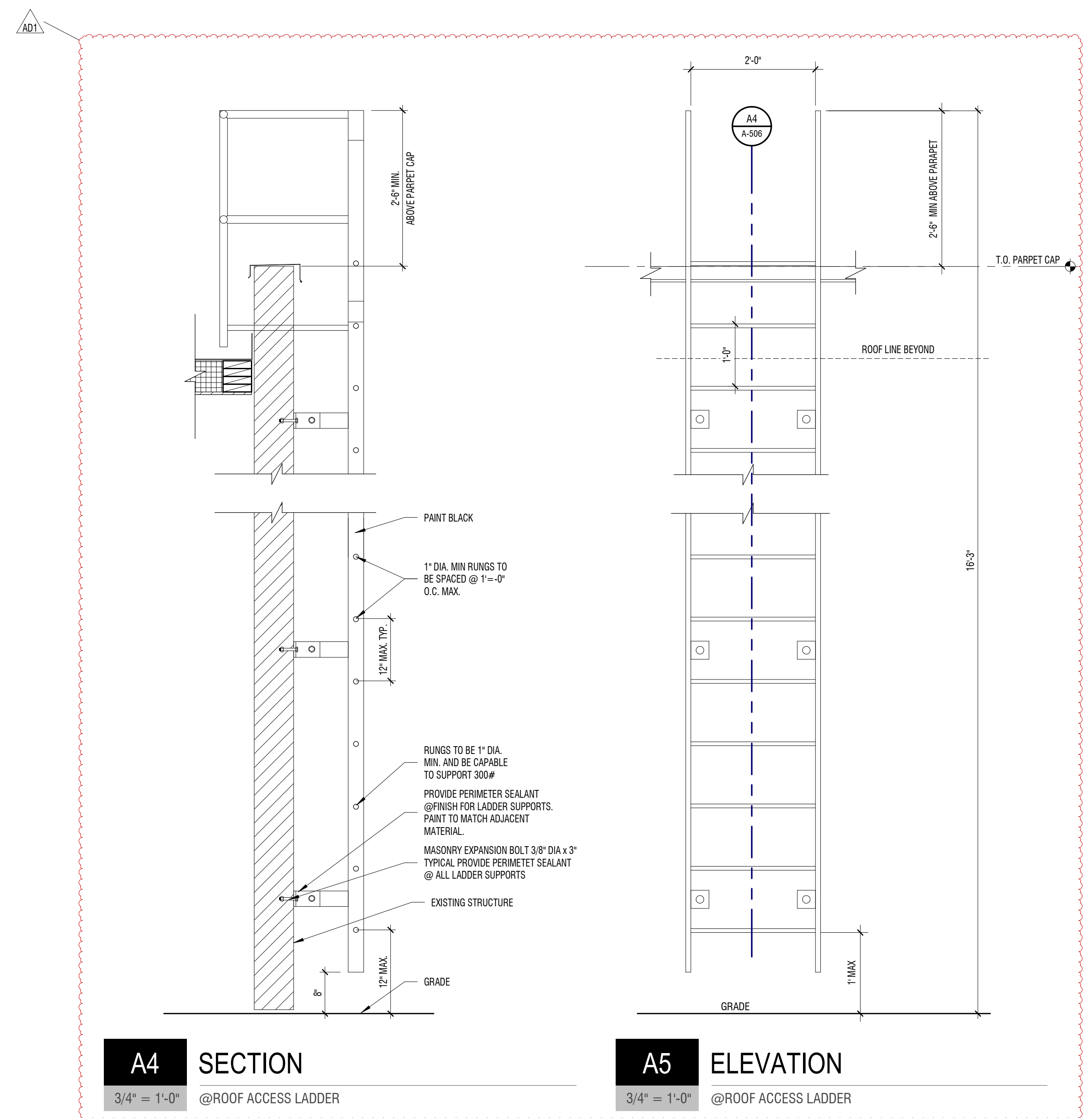
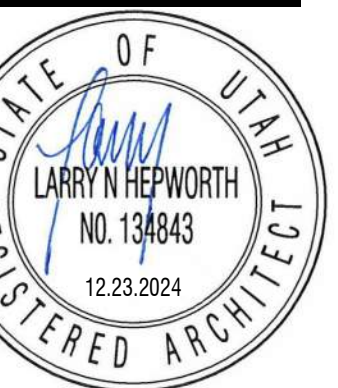


A1 REGLET DETAIL

1

MARK	ADT
DATE	02/19/2025
DESCRIPTION	ADDENDUM 01

PROJECT #:	324236
DRAWN BY:	H HARRIS
CHECKED BY:	K LEIKIS
ISSUED:	12.23.2024



A4 SECTION
3/4" = 1'-0" @ ROOF ACCESS LADDER

A5 ELEVATION
3/4" = 1'-0" @ ROOF ACCESS LADDER

BID/PERMIT SET

D
C
B
A

1 2 3 4 5