

## BID ADDENDUM # 01

<b>date:</b>	10/29/2024
<b>project:</b>	Montpelier Tabernacle Misc. Work
<b>Issued by:</b>	Design West Architects
<b>subject:</b>	Bid Addendum #01

This Addendum shall be considered part of the bid documents for the above-mentioned project as though it had been issued at the same time and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original bid documents. This Addendum shall govern and take precedence. ***Bidders Must acknowledge this addendum on their bids.***

Proposers are hereby notified that they shall make any necessary adjustments in their estimates as a result of this Addendum. It will be construed that each bidder's proposal is submitted with full knowledge of all modifications and supplemental data specified herein.

*Except as described below, the original bid documents remain unchanged. The bid documents are modified and/or clarified, As follows:*

### Items:

#### 1. CHANGES TO PRIOR ADDENDA:

- N/A

#### 2. CHANGES TO BIDDING REQUIREMENTS:

- N/A

#### 3. CHANGES TO DRAWINGS & SPECIFICATIONS

##### ARCHITECTURAL:

- The scope regarding the ramp at the northwest corner of the building has been clarified/updated. Railing has been added. Photo detail added. Detail added for the ramp and railing. See C4/A-501.
- Asbestos abatement in the storage closets 114, 124, 202 and 204, has been removed from the scope of work.

##### ELECTRICAL:

- (12) new lights, Fixture Type LL-L15, have been added to the underside of the Balcony. See E-201.1.

##### LANDSCAPE:

- The area of regrading identified per Keynote 31.01 on sheet AS-100 has been increased to include the small planter bed between the sidewalk and the building. The landscaping in this area is to be replaced 1 for 1 (mulch & plants). This scope is in addition to the "\$10,000.00 for Minor Landscaping updates".



#### 4. CLARIFICATIONS

##### ARCHITECTURAL:

- Keynotes referenced in C5/A-501 have been added to that sheet.
- Asbestos Abatement is to be included in the contractor's Scope of Work.
- The new Asphalt Paving in the northwest corner of the main parking lot is to receive a new base per detail A3/A-501.
- We will only seal coat the NEW asphalt added in the northwest corner of the main parking lot. Seal Coat shall be a "Asphalt Based Penetrating Seal" per Spec Section 32 0113.
- Spec Section 04 2000 – Unit Masonry was inadvertently listed in the Spec Table of Contents. This section is not needed and has been removed from the T of C.
- The "\$50,000.00 For Misc. Repair and Repointing of Precast and Masonry" is to be used for Scope that is not yet identified on the Bid Drawings. Spec Sections 04 0121, 04 0131 & 07 1900 will apply to this Misc. Repair and Repointing of Precast and Masonry scope.
- The concrete sidewalk and planter bed to be demolished at the northwest corner of the building has been clarified. Photo detail added.

##### LANDSCAPE:

- The "\$10,000.00 for Minor Landscaping updates" is to be used for Scope that is not yet identified on the Bid Drawings.
- The area to be regraded and its associated scope identified by Keynote 31.01 on sheet AS-100 is in addition to the "\$10,000.00 for Minor Landscaping updates".

#### 5. REVISED SHEETS

- Spec T of C
- Sheet G-001
- Sheet AS-100
- Sheet A-102
- Sheet A-103
- Sheet A-104
- Sheet A-501
- Sheet A-504
- Sheet E-201.1
- Sheet E-202.1
- Sheet E-602.1

-- END --



**SECTION 00 0110  
TABLE OF CONTENTS**

**PROCUREMENT AND CONTRACTING REQUIREMENTS**

**1.01 DIVISION 00 -- PROCUREMENT AND CONTRACTING REQUIREMENTS**

- A. 00 0110 - Table of Contents
- B. 00 7300 – Supplementary Conditions

**SPECIFICATIONS**

**3.01 DIVISION 01 -- GENERAL REQUIREMENTS**

- A. 01 2000 - Price and Payment Procedures
- B. 01 3000 - Administrative Requirements
- C. 01 3216 - Construction Progress Schedule
- D. 01 4000 - Quality Requirements
- E. 01 4219 - Reference Standards
- F. 01 6000 - Product Requirements
- G. 01 7000 - Execution and Closeout Requirements
- H. 01 7419 - Construction Waste Management and Disposal
- I. 01 7800 - Closeout Submittals

**3.02 DIVISION 02 -- EXISTING CONDITIONS**

- A. 02 4113 - Selective Site Demolition

**3.03 DIVISION 03 -- CONCRETE**

- A. 03 3000 - Cast-in-Place Concrete

**3.04 DIVISION 04 -- MASONRY**

- A. 04 0121 - Unit Masonry Repointing
- B. 04 0131 - Unit Masonry Cleaning



**3.05 DIVISION 07 -- THERMAL AND MOISTURE PROTECTION**

- A. 07 1900 – Water Repellants
- B. 07 9200 - Joint Sealants

**3.06 DIVISION 09 -- FINISHES**

- A. 09 9123 - Interior Painting

**3.07 DIVISION 31 -- EARTHWORK**

- A. 31 2323 - Fill and Aggregate Base

**3.08 DIVISION 32 -- EXTERIOR IMPROVEMENTS**

- A. 32 0113.01 – Asphalt Based Penetrating Seal
- B. 32 1216.04 - Asphalt Paving: Superpave Mix
- C. 32 1713.00 - Parking Bumpers
- D. 32 1723.01 - Pavement Markings
- E. 32 9223 - Sodding

**END OF SECTION 00 0110**

Montpelier Tabernacle Misc Work 501402623010101	00 0110 - 1	Table of Contents
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SHEET INDEX

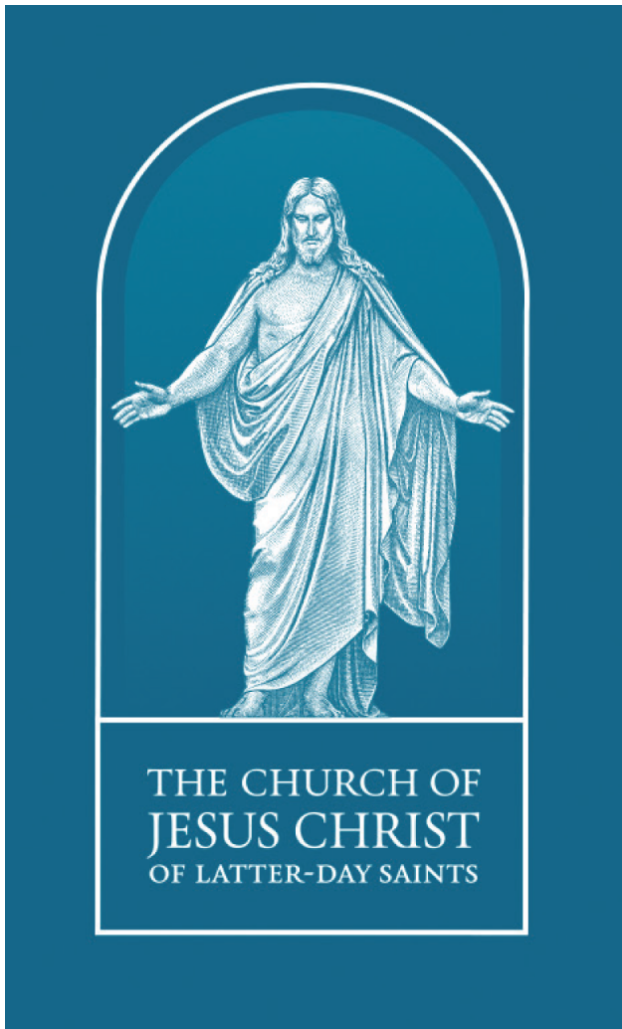
NOTE: THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT ARE COMPOSED OF SETS OF DRAWINGS AND SPECIFICATIONS, AND THEREFORE SHALL BE USED AND MAINTAINED IN THEIR ENTIRETY. ANY CONTRACTOR, SUBCONTRACTOR, VENDOR OR PARTY PARTICIPATING IN OR BIDDING ON THIS PROJECT SHALL BE EXPECTED TO PERFORM DUE DILIGENCE TO ENSURE THEIR BID, WORK PERFORMED, AND MATERIALS PROVIDED CONFORMS TO THE INFORMATION PROVIDED WITHIN ANY AND ALL SHEETS OF DRAWINGS AND SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO, ANY SUBSEQUENT ADDENDA OR CLARIFICATIONS THAT MAY BE ISSUED RELEVANT TO THEIR SCOPE OF WORK. PROJECT SCOPE MAY BE DEFINED WITHIN SPECIFICATIONS AND/OR DRAWINGS.

ADDITIONALLY, DRAWINGS MAY NOT BE RE-SCALED WHEN PRINTED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE, AND LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

ANY DEVIATION FROM OR CONFLICT WITHIN THE DRAWINGS AND/OR SPECIFICATIONS, MUST BE SUBMITTED VIA REQUEST FOR INFORMATION (RFI) AND RESPONDED TO BY THE ARCHITECT PRIOR TO BID OR BEFORE CONTINUING THAT PORTION OF WORK.

GENERAL:	
G-001	PROJECT INFORMATION
ARCHITECTURAL SITE:	
AS-100	ARCHITECTURAL SITE PLAN
ARCHITECTURAL:	
A-101	FLOOR PLAN
A-102	FLOOR PLAN
A-103	REFLECTED CEILING
A-104	REFLECTED CEILING
A-501	DETAILS
A-502	PHOTOS
A-503	PHOTOS
A-504	PHOTOS
ELECTRICAL:	
E-001.1	ABBREVIATIONS, G.P.N., LEGEND & SHEET INDEX
E-002.1	ELECTRICAL SPECIFICATIONS
ES.101.1	ELECTRICAL SITE PLAN
ES.501.1	ELECTRICAL SITE DETAILS
E-201.1	ELECTRICAL PLANS
E-501.1	LIGHTING CONTROL RISER DIAGRAM & DETAILS
E-602.1	ELECTRICAL SCHEDULES

PROJECT INFORMATION



DESIGN TEAM

ARCHITECTURAL

DESIGN WEST ARCHITECTS  
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LOGAN, UT 84321  
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RYAN LEMON

OWNER

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PHONE: 385.228.4288  
KingLC@churchofjesuschrist.org  
LOGAN KING

ELECTRICAL

SINE SOURCE ENGINEERING  
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LOGAN, UT 84321  
PHONE: PHONE: 435.787.1445  
shanes@sinesource.net  
SHANE SWENSON

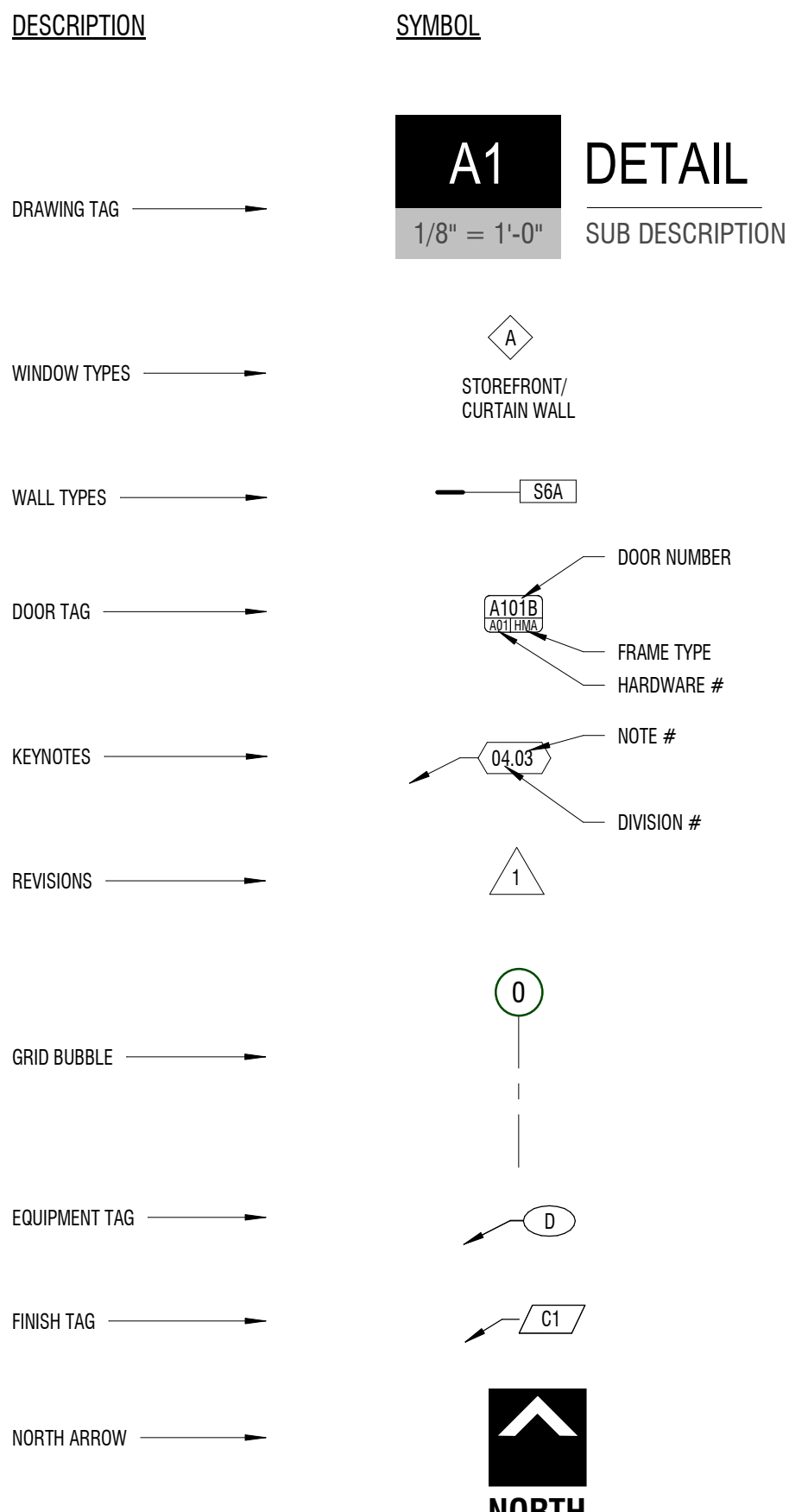
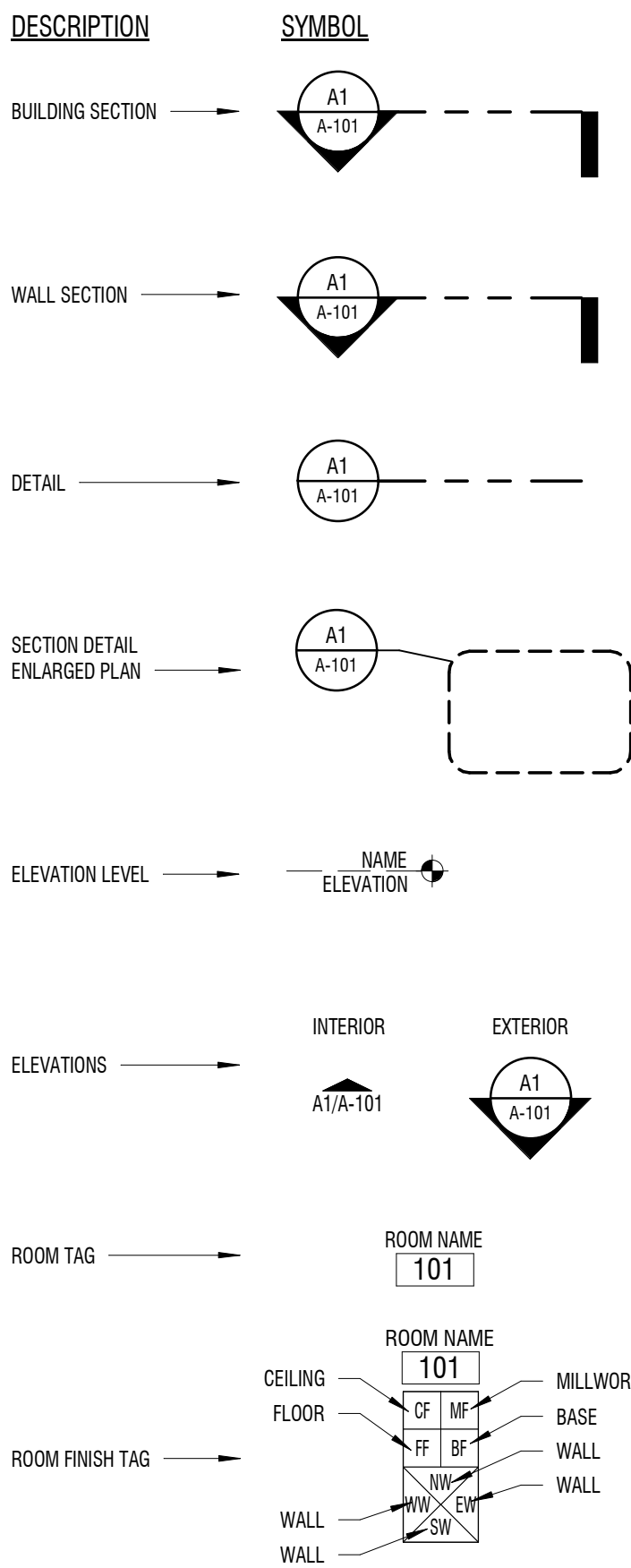
CONSTRUCTION ALLOWENCES

- PROVIDE A CONSTRUCTION ALLOWANCE OF \$50,000.00 FOR MISC. REPAIR AND REPOINTING OF PRECAST AND MASONRY.
- PROVIDE A CONSTRUCTION ALLOWANCE OF \$10,000.00 FOR MINOR LANDSCAPING UPDATE

ABBREVIATIONS

ABR.	DESCRIPTION	ABR.	DESCRIPTION	ABR.	DESCRIPTION
AB	ANCHOR BOLT	EXIST	EXISTING	PART BD	PARTICLE BOARD
ABS	ACRYLONITRILE-BUTADIENE -STYRENE	EXP	EXPANSION	PARTN	PARTITION
AC	ACOUSTIC, ACOUSTICAL	EXT	EXTERIOR	P-LAM	PLASTIC LAMINATE PLATE
ACC STA	ACCESSIBLE STATION	FD	FLOOR DRAIN	PLYWD	PLYWOOD
AD	ADDENDUM	FDN	FOUNDATION	PREFAB	PREFABRICATED
ADJ	ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PROJ	PROJECTION
AFF	ABOVE FINISH FLOOR	FIN	FINISH	PT	PRESERVATIVE TREATED
ALT	ALTERNATE	FLR	FLOOR	PVC	POLYVINYL CHLORIDE
ALUM	ALUMINUM	FTG	FOOTING	QT	QUARRY TILE
ASI	ARCHITECT SUPPLEMENTAL INSTRUCTION	GA	GAUGE	R/	ROUND
ASPH	ASPHALT	GALV	GALVANIZED	RAD	RADIUS
		GI	GALVANIZED IRON	RD	ROOF DRAIN
		GYP BD	GYPSUM BOARD	REF	REFRIGERATOR
		HDWD	HARDWOOD	REINF	REINFORCE
		HM	HOLLOW METAL	REV	REVISION
BB	BASKETBALL	HORIZ	HORIZONTAL	RFI	REQUEST FOR INFORMATION
BD	BOARD	HT	HEIGHT	RO	ROUGH OPENING
BLDG	BUILDING	ID	INSIDE DIAMETER	SCHED	SCHEDULE
BLKG	BLOCKING	INSUL	INSULATION	SHT	SHEET
BM	BENCH MARK	INT	INTERIOR	SIM	SIMILAR
B.O.	BOTTOM OF	JT	JOINT	SPEC	SPECIFICATION
BRG	BEARING	KD	KNOCK DOWN	SQ	SQUARE
BSMT	BASEMENT	KO	KNOCK OUT	SS	STAINLESS STEEL
B.U.R.	BUILT UP ROOF	L	ANGLE	STD	STANDARD
C	CHANNEL	LLV	LONG LEG VERTICAL	STL	STEEL
CB	CHALKBOARD	MAX	MAXIMUM	STOR	STORAGE
C	CENTER LINE	MB	MARKER BOARD	STRUCT	STRUCTURAL
CLG	CEILING	MECH	MECHANICAL	SUSP	SUSPENDED, SUSPENSION
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	SYS	SYSTEM
CO	CLEAN OUT	MH	MANHOLE	T & B	TOP AND BOTTOM
COL	COLUMN	MIN	MINIMUM	TB	TACKBOARD
CONC	CONCRETE	MISC	MISCELLANEOUS	TEMP	TEMPORARY
CONN	CONNECTION	MO	MASONRY OPENING	TEL	TELEPHONE
CONT	CONTINUOUS	MT	MOUNT	THRES	THRESHOLD
CONTR	CONTRACTOR	MTL	METAL	TS	TUBE STEEL
CT	CERAMIC TILE	(N)	NEW	T.O.	TOP OF
d	PENNY	NIC	NOT IN CONTRACT	TOIL	TOILET
DIM	DIMENSION	NTS	NOT TO SCALE	TV	TELEVISION
DS	DOWNSPOUT	O.C.	ON CENTER	TYP	TYPICAL
DWG	DRAWING	OD	OUTSIDE DIAMETER	VERT	VERTICAL
(E)	EXISTING	OH	OVERHEAD	W	UNLESS NOTED OTHERWISE
EA	EACH	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED	W/	WITH
EIFS	EXTERIOR INSULATION	OF/OI	OWNER FURNISHED / OWNER INSTALLED	WC	WATER CLOSET
ELECT	ELECTRICAL	OPNG	OPENING	WD	WOOD
ELEV	ELEVATION	OPP	OPPOSITE	WM	WATER METER
EQ	EQUAL	O.T.S.	OPEN TO STRUCTURE	W/O	WITHOUT
EQUIP	EQUIPMENT			WWF	WELDED WIRE FABRIC
EWC	ELECTRIC WATER COOLER				

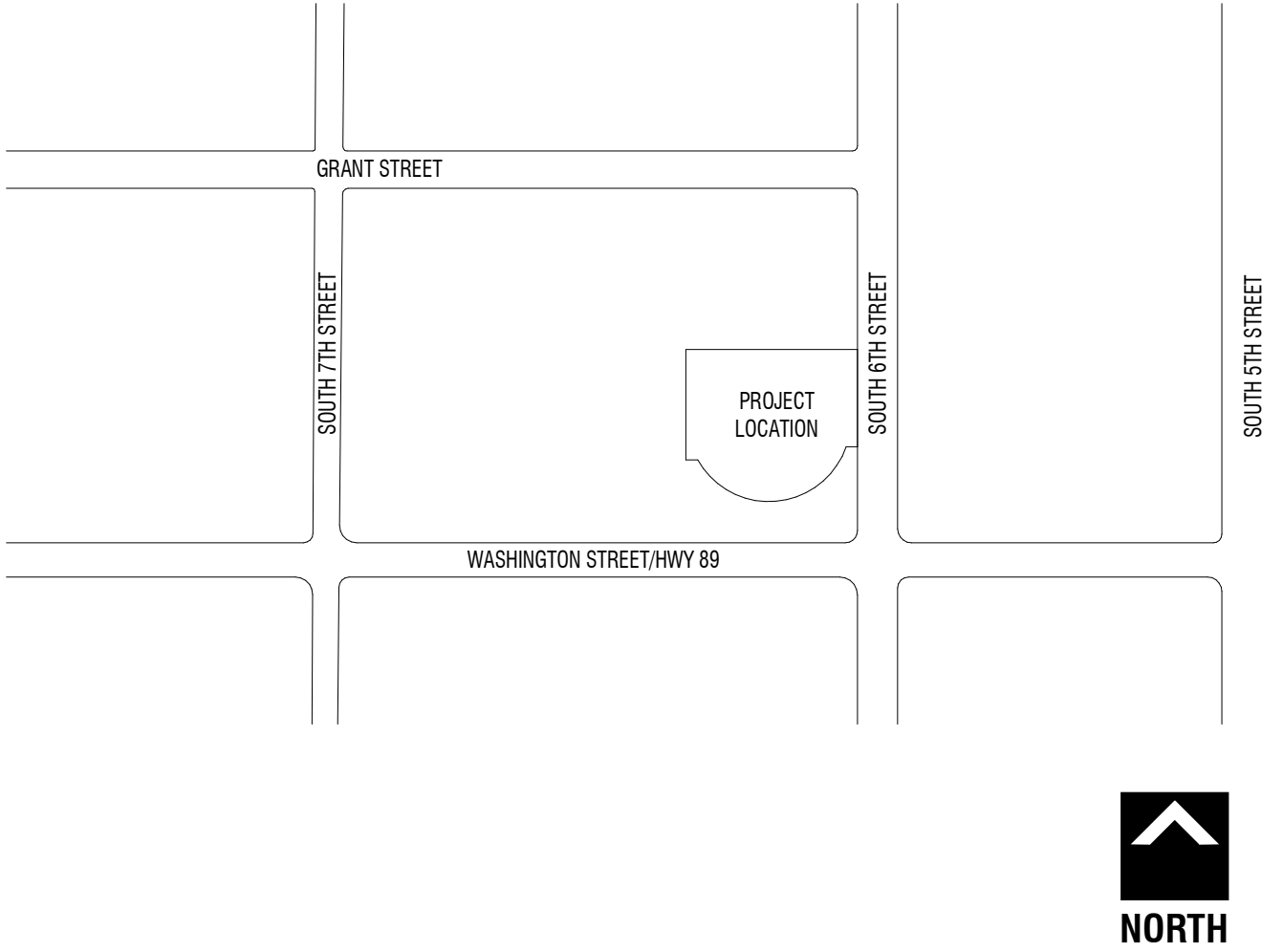
SYMBOLS LEGEND



MATERIALS LEGEND

MATERIAL	SYMBOL
EARTH	
ASPHALT PAVING	
COMPACTED GRANULAR FILL	
CONCRETE	
CONCRETE MASONRY UNITS	
BRICK	
STEEL	
CONTINUOUS WOOD	
WOOD BLOCKING	
PLYWOOD / OSB	
PARTICLE BOARD	
INSULATION	
RIGID INSULATION	
GYP SUM BOARD	
GLU-LAMINATE BEAM	
GLASS	
FINISH WOOD	
ALUMINUM	
WOOD STUD WALL	

VICINITY MAP



BID DOCUMENTS

MARK	DATE	DESCRIPTION
1	10/28/2024	BID ADDENDUM # 1

PROJECT #:	224075
DRAWN BY:	LF
CHECKED BY:	RL
ISSUED:	10.18.2024



PROJECT  
INFORMATION

G-001

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MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST., MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

DESIGN  
WEST

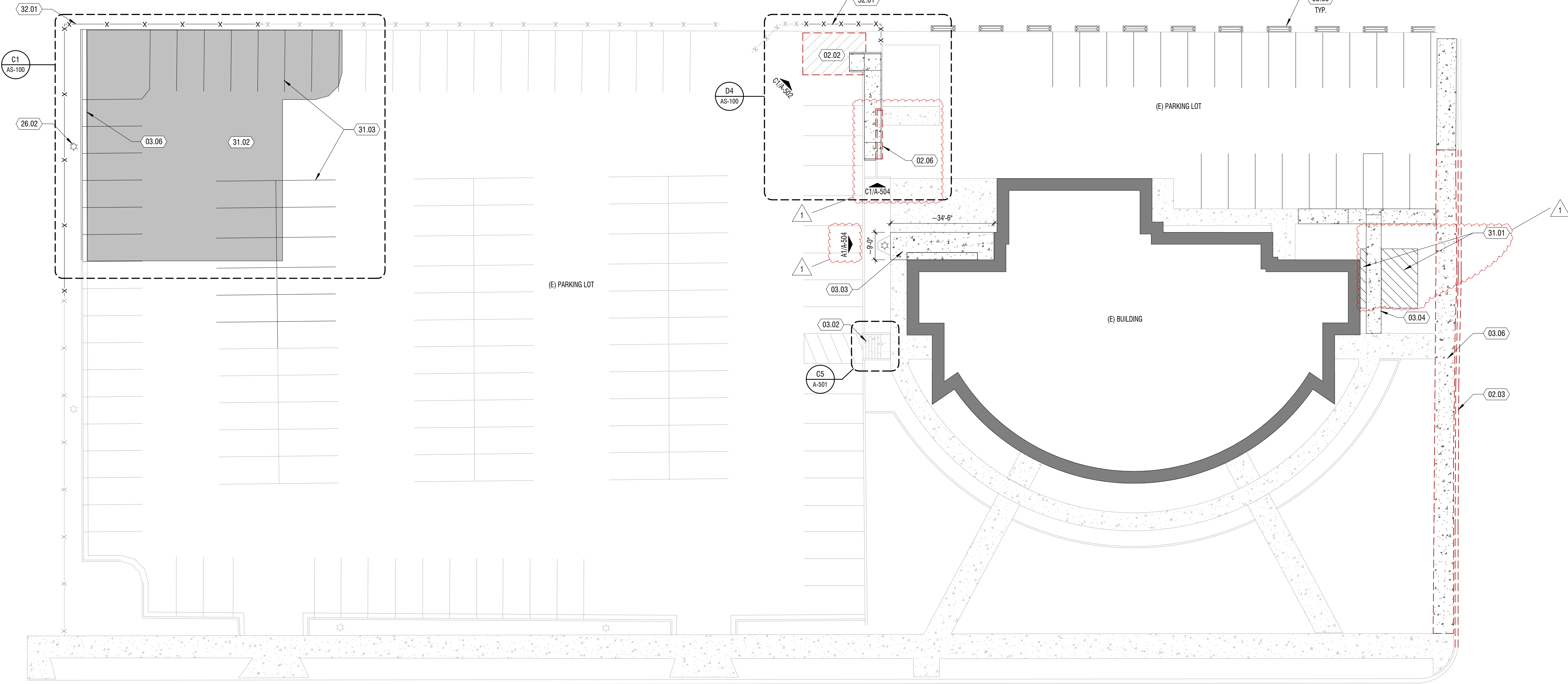
LOGAN, UTAH  
(435) 752-7031  
SALT LAKE CITY, UTAH  
(801) 539-8221



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## A1 ARCHITECTURAL SITE PLAN

1" = 20'-0"

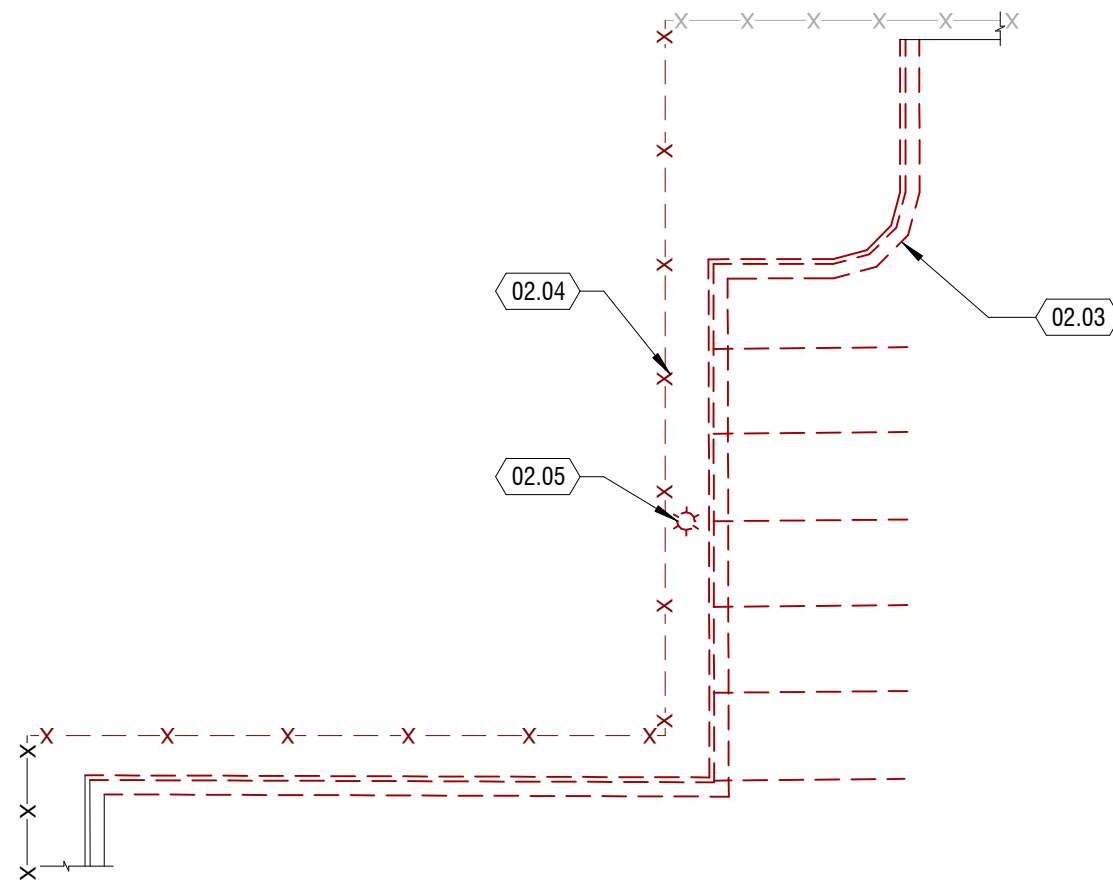


## KEYNOTES

MARK	DESCRIPTION
02.02	DEMOLISH AND REMOVE EXISTING STORAGE SHED, SLAB AND FOUNDATION. REMOVE ALL UTILITIES BACK TO SOURCE. INFILL DEMOLITION AREA WITH COMPACTED STRUCTURAL FILL. ADD NEW ASPHALT PAVING AND ROAD BASE. SEE DETAIL C1/A-501 FOR PROFILE
02.03	DEMOLISH AND REMOVE EXISTING CONCRETE CURB AND GUTTER
02.04	DEMOLISH AND REMOVE EXISTING FENCING
02.05	DEMOLISH AND REMOVE EXISTING LIGHT POLE. (PROTECT CONDUIT FOR EXTENSION TO NEW LIGHT)
02.06	DEMOLISH AND REMOVE CONCRETE AND ASPHALT TO ACCOMMODATE NEW RAMP
03.02	(E) CONCRETE STAIRS AND RAILING TO BE REMOVED AND REPLACED, MATCH EXISTING
03.03	(E) CONCRETE SIDEWALK AND PLANTER BED TO BE REMOVED, POUR NEW SIDEWALK WITH CONTINUOUS SLOPE TO DOOR. REPLACE PLANTER BED WITH WIDER SIDEWALK
03.04	(E) CONCRETE SIDEWALK TO BE REMOVED AND REPLACED, MATCH EXISTING
03.05	DECORATIVE PRECAST CONCRETE BARRIER. BASIS OF DESIGN: "8FT DECO BARRIER" BY 48 BARRIERS (STANDARD GRAY)
03.06	NEW CONCRETE SIDEWALK, CURB & GUTTER. SEE DETAILS A1/A-501, A2/A-501
03.08	NEW CONCRETE SIDEWALK/RAMP. SEE DETAIL C4/A-501
03.09	NEW CONCRETE CURB. SIMILAR TO C4/A-501
05.01	1 1/2" STAINLESS STEEL HAND RAIL
26.02	NEW LIGHT & POLE. EXTEND CONDUIT FROM OLD LIGHT TO NEW LIGHT. (SEE ELEC.)
31.01	REGRADE TO PROVIDE POSITIVE SLOPE AWAY FROM BUILDING/SIDEWALK, ADJUST SPRINKLER HEADS, LINES AND CONTROL BOXES AS NEEDED. REPLACE LANDSCAPING 1 FOR 1, RESOD AS NEEDED
31.02	4" ASPHALT PAVING OVER NEW BASE. SEE DETAIL A3/A-501
31.03	PAVEMENT MARKINGS, TYPICAL
32.01	INSTALL NEW 6 FT TALL CHAIN LINK FENCING WITH VINYL SLATS, MATCHING EXISTING (SEE C2/A-504)

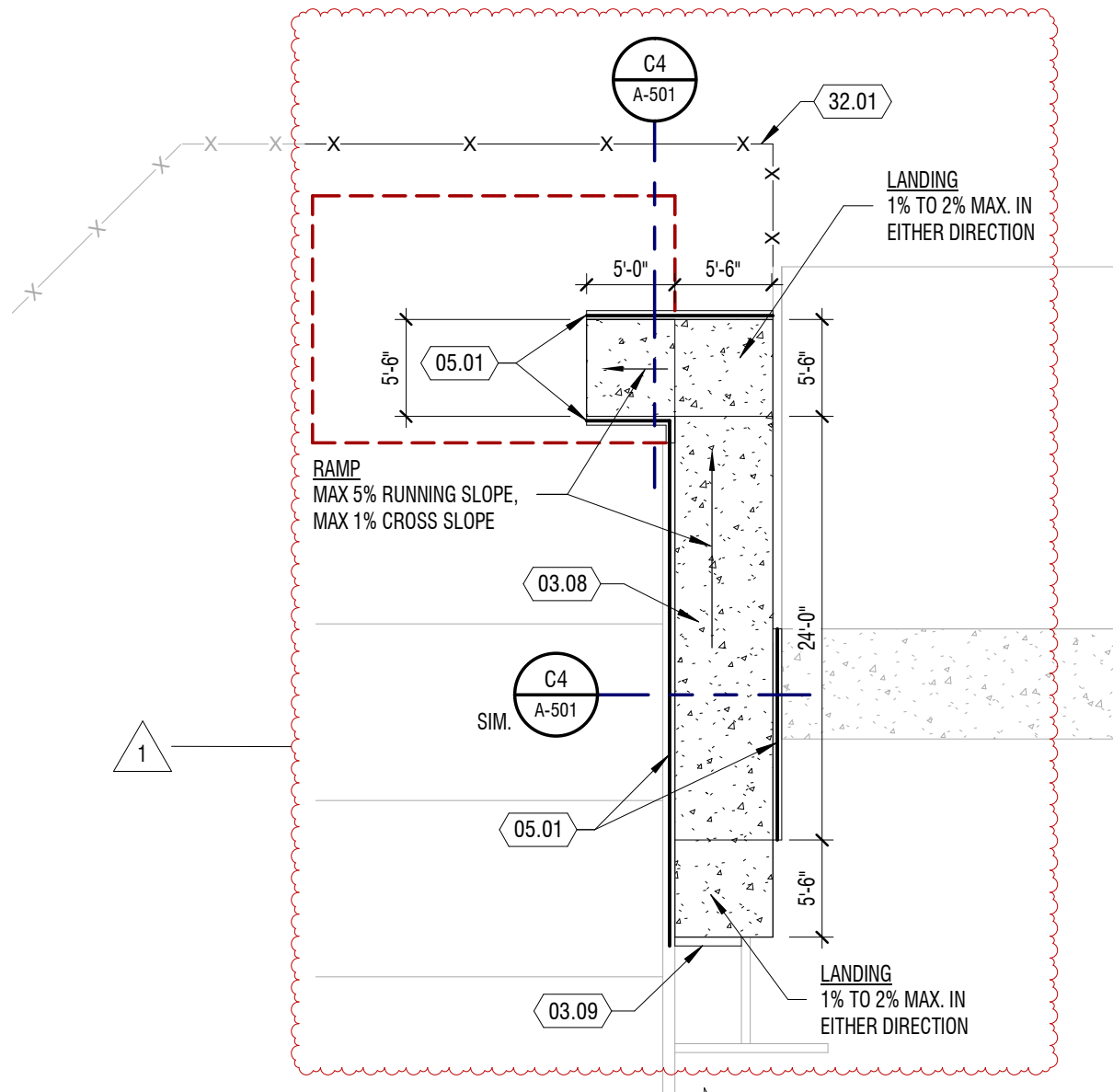
## C1 PARKING LOT DEMO PLAN

1" = 20'-0"



## D4 WEST RAMP

1" = 10'-0"



BID DOCUMENTS

MARK: 1  
DATE: 10/23/2024  
DESCRIPTION: BID ADDENDUM #1

PROJECT #: 224075  
DRAWN BY: LF  
CHECKED BY: RL  
ISSUED: 10.18.2024



ARCHITECTURAL  
SITE PLAN

AS-100

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MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST., MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

DESIGN  
WEST

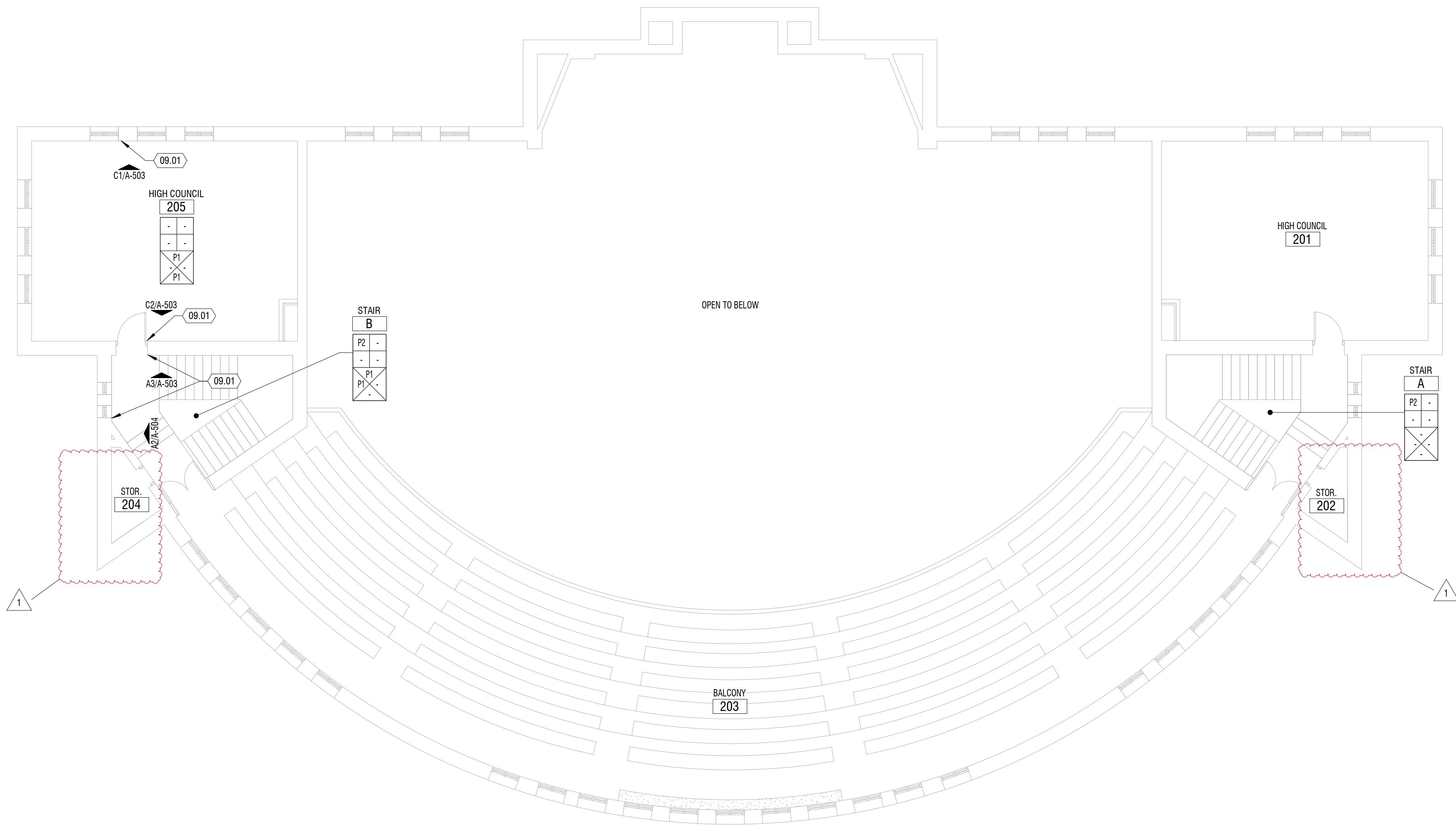
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A1 LEVEL 02 FLOOR PLAN

1/8" = 1'-0"



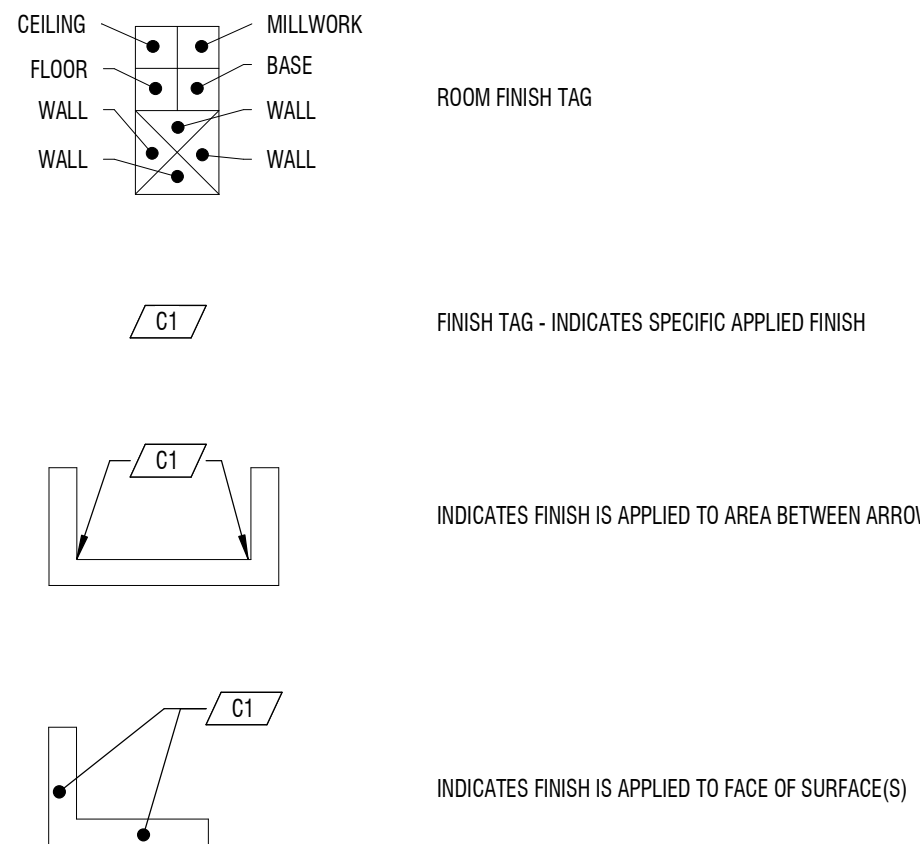
GENERAL NOTES

- KEYNOTES: THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.  
  
ADDITIONALLY, KEYNOTES RETAIN THEIR ASSIGNED VALUE UNIVERSALLY THROUGHOUT THE SET. THE KEYNOTES LISTED BELOW, REPRESENT THE KEYNOTES FOUND AND UTILIZED ON THIS SHEET AND EACH LIST WILL DIFFER RESPECTIVE TO ITS' SHEET. THEREFORE, BASED ON ACTUAL KEYNOTES UTILIZED ON A GIVEN SHEET OF DRAWINGS, GAPS IN THE SEQUENCING WILL OCCUR.
- CONTRACTOR SHALL BE FAMILIARIZED WITH THE LAY-OUT OF STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. ANY QUESTIONS SHALL BE SUBMITTED VIA REQUEST FOR INFORMATION (RFI).

KEYNOTES

MARK	DESCRIPTION
09.01	PATCH AND REPAIR EXISTING PLASTER WALL FINISH

LEGEND



FINISHES

- PAINT FINISHES:
- P1 - WALL PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, SEMI-GLOSS  
(VERIFY FINISH WITH CHURCH HISTORIAN)
- P2 - CEILING PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, FLAT  
CEILINGS THAT ARE TO BE ABATED ARE TO RECEIVE A NEW KNOCKDOWN TEXTURE  
-- VERIFY TEXTURE AND PAINT FINISH WITH CHURCH HISTORIAN --

BID DOCUMENTS

MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST, MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

MARK	DATE	DESCRIPTION
1	10/28/2024	BID ADDENDUM #1

PROJECT #:	224075
DRAWN BY:	LF
CHECKED BY:	RL
ISSUED:	10.18.2024



FLOOR PLAN

A-102

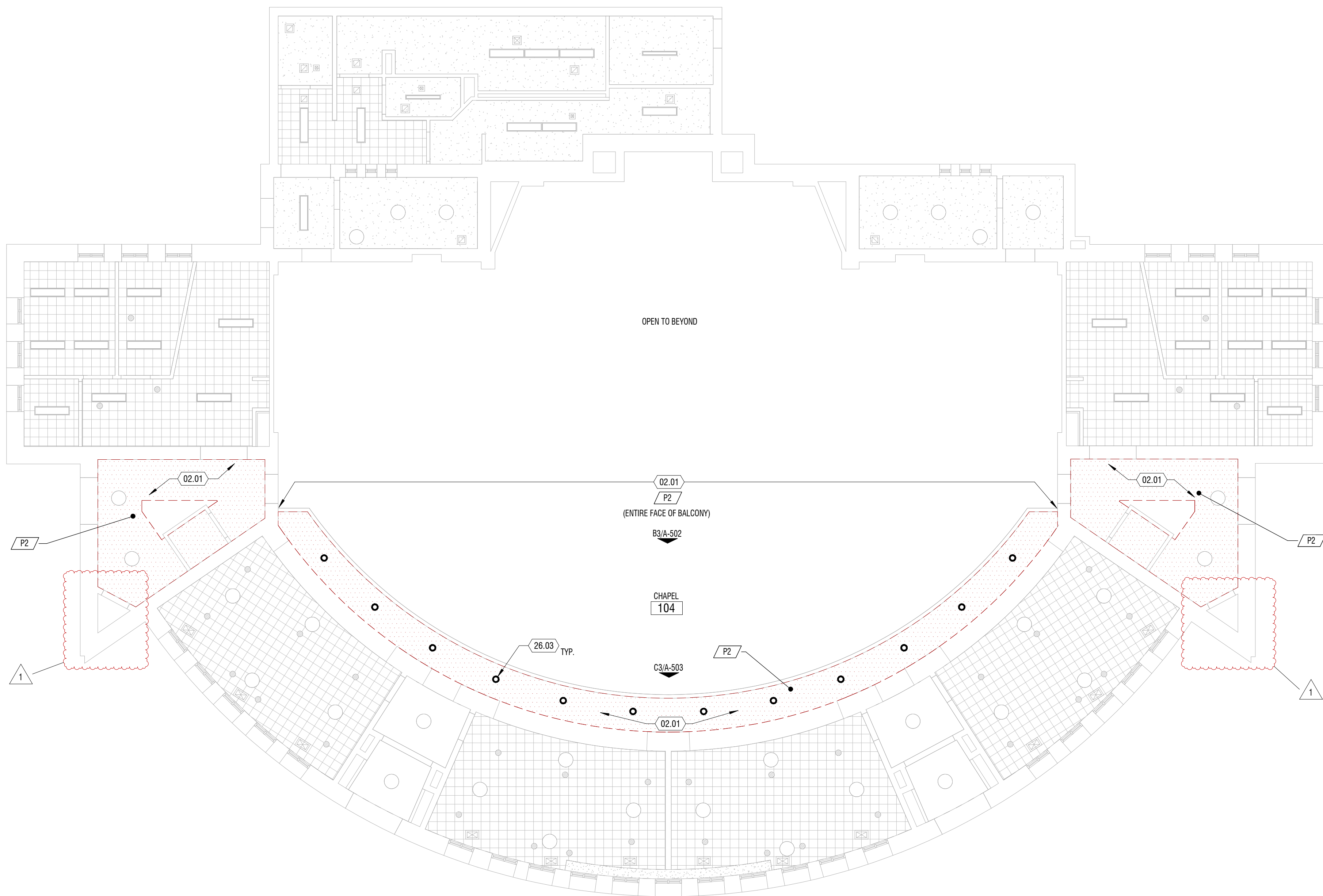
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# A1 LEVEL 01 REFLECTED CEILING PLAN

1/8" = 1'-0"



## GENERAL NOTES

- KEYNOTES:** THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.  
  
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- CONTRACTOR SHALL COORDINATE LAY-OUT OF STRUCTURAL, MECHANICAL, SPRINKLER AND ELECTRICAL. NOTIFY ARCHITECT OF ANY CONFLICTS.
- ALL INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD / MASONRY. ALL EXTERIOR DIMENSIONS ARE TO/FROM FACE OF GRID FOUNDATION. DIMENSIONS MARKED 'CLEAR' OR 'CLR' ARE FROM FACE OF FINISH TO FACE OF FINISH AND SHALL BE MAINTAINED AND CANNOT BE FIELD ADJUSTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.

## KEYNOTES

MARK	DESCRIPTION
02.01	ASBESTOS CONTAINING TEXTURED CEILING TO BE ABATED
26.03	NEW LED LIGHT - SEE ELECTRICAL

## LEGEND

### MATERIALS

	(E) 1'-0" x 1'-0" SUSPENDED ACOUSTICAL LAY-IN CEILING SYSTEM
	(E) GYPSUM BOARD CEILINGS TYPICAL, U.N.O.
	(E) ASBESTOS CONTAINING TEXTURED CEILING TO BE ABATED ALL AREAS OF ABATEMENT ARE TO RECEIVE A NEW KNOCK DOWN TEXTURED FINISH, PAINTED *SW 6098-PACE WHITE-FLAT
	(E) HARD LID CEILING

### SYMBOLS

	<b>LIGHTING FIXTURES:</b> 1'x4' TROFFERS
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	SPECIALTY FIXTURE
	<b>SENSORS/SIGNS/ELEC./DATA:</b> SPEAKER
	EXIT SIGN
	<b>AIR GRILLES/ACCESS PANELS:</b> SUPPLY / FRESH
	RETURN / RELIEF
	FINISH TAG - INDICATES SPECIFIC APPLIED FINISH

## FINISHES

- PAINT FINISHES:**  
P1 - WALL PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, SEMI-GLOSS  
(VERIFY FINISH WITH CHURCH HISTORIAN)
- P2 - CEILING PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, FLAT  
CEILINGS THAT ARE TO BE ABATED ARE TO RECEIVE A NEW KNOCKDOWN TEXTURE  
-- VERIFY TEXTURE AND PAINT FINISH WITH CHURCH HISTORIAN --

DESIGN  
WEST

LOGAN, UTAH  
(435) 752-7031  
SALT LAKE CITY, UTAH  
(801) 539-8221

MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST., MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

MARK	DATE	DESCRIPTION	PROJECT #
1	10/23/2024	BID ADDENDUM #1	224075



REFLECTED CEILING

A-103

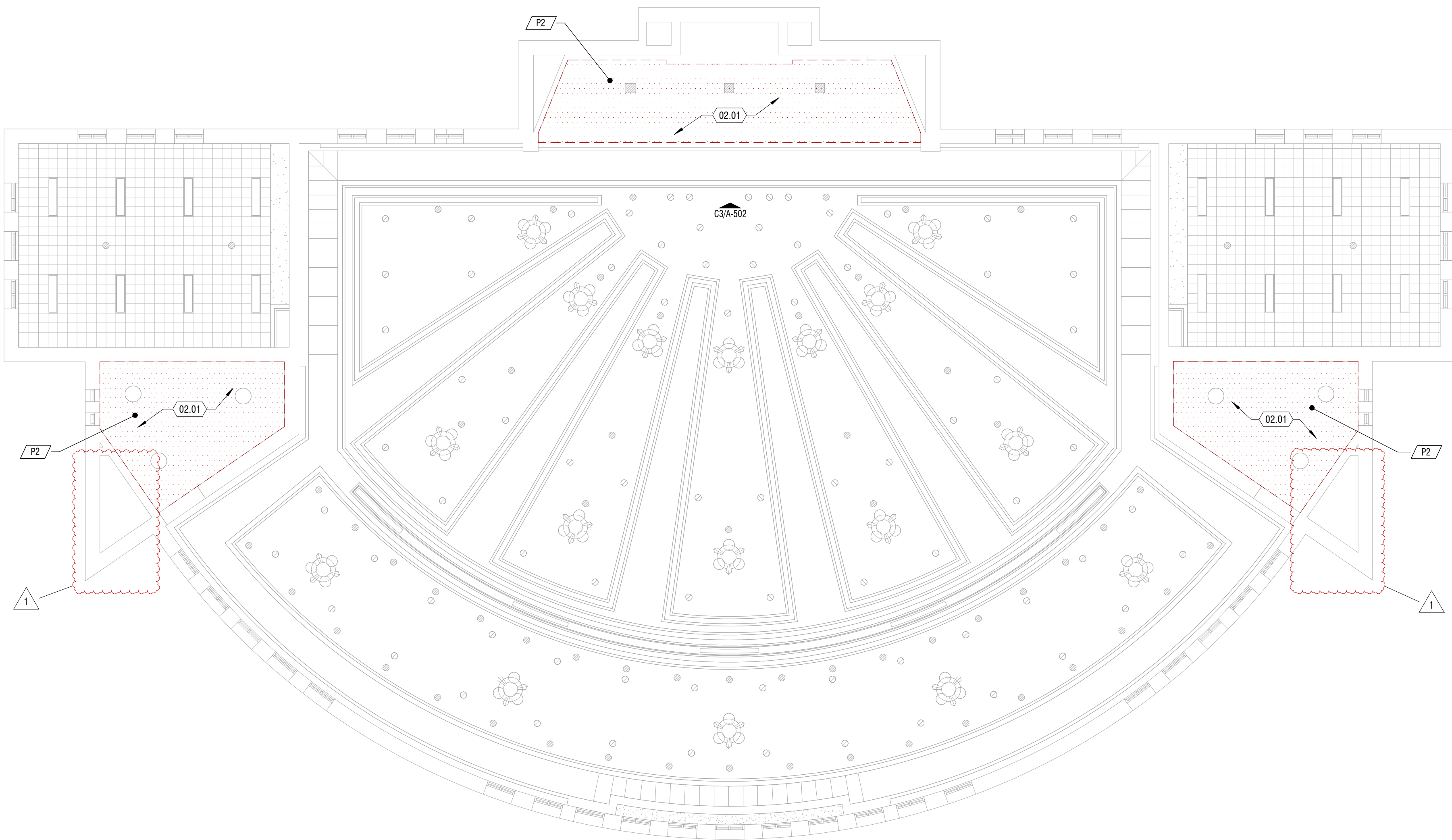
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A1 LEVEL 02 REFLECTED CEILING PLAN

1/8" = 1'-0"



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KEYNOTES

MARK	DESCRIPTION
02.01	ASBESTOS CONTAINING TEXTURED CEILING TO BE ABATED

LEGEND

MATERIALS

	(E) 1'-0" x 1'-0" SUSPENDED ACOUSTICAL LAY-IN CEILING SYSTEM
	(E) GYPSUM BOARD CEILINGS TYPICAL, U.N.O.
	(E) ASBESTOS CONTAINING TEXTURED CEILING TO BE ABATED ALL AREAS OF ABATEMENT ARE TO RECEIVE A NEW KNOCK DOWN TEXTURED FINISH, PAINTED 'SW 6098-PACE WHITE-FLAT
	(E) HARD LID CEILING

SYMBOLS

	<b>LIGHTING FIXTURES:</b> 1'x4' TROFFERS
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	SPECIALTY FIXTURE
	<b>SENSORS/SIGNS/ELEC./DATA:</b> SPEAKER
	EXIT SIGN
	<b>AIR GRILLES/ACCESS PANELS:</b> SUPPLY / FRESH
	RETURN / RELIEF
	FINISH TAG - INDICATES SPECIFIC APPLIED FINISH

FINISHES

- PAINT FINISHES:
- P1 - WALL PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, SEMI-GLOSS  
(VERIFY FINISH WITH CHURCH HISTORIAN)
- P2 - CEILING PAINT: SHERWIN WILLIAMS, SW 6070, HERON PLUME, FLAT  
CEILINGSS THAT ARE TO BE ABATED ARE TO RECEIVE A NEW KNOCKDOWN TEXTURE  
-- VERIFY TEXTURE AND PAINT FINISH WITH CHURCH HISTORIAN --

DESIGN  
WEST

LOGAN, UTAH  
(435) 752-7031  
SALT LAKE CITY, UTAH  
(801) 539-8221

MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST., MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

MARK	DATE	DESCRIPTION
1	10/28/2024	BID ADDENDUM #1

PROJECT #:	224075
DRAWN BY:	LF
CHECKED BY:	RL
ISSUED:	10.18.2024



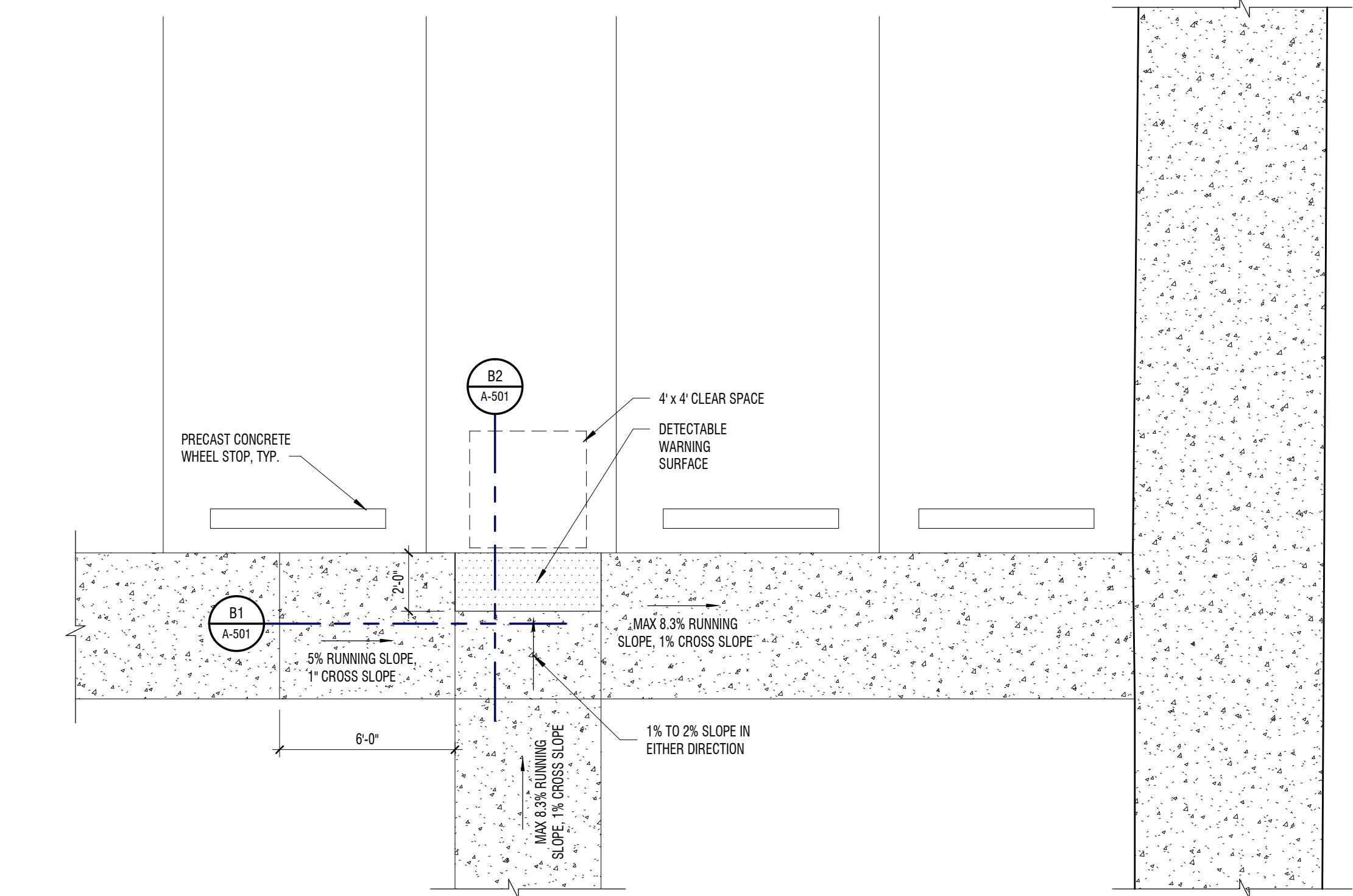
REFLECTED CEILING

A-104

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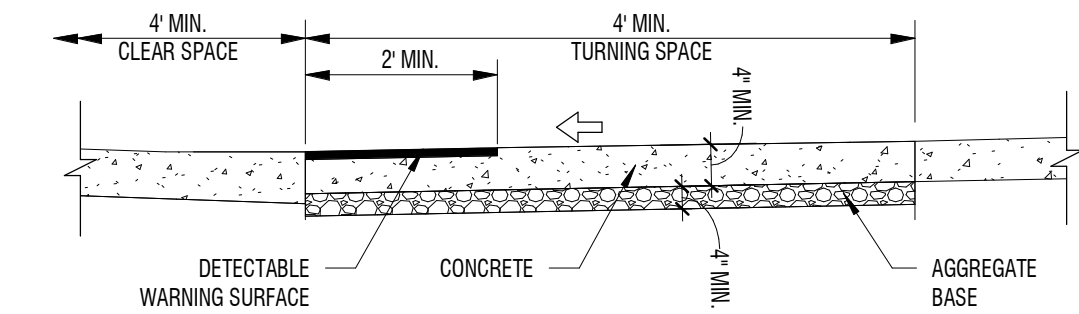
10/20/2024 12:43:11 PM AutoCAD 2024 - Montpelier Tabernacle Renovations224075 - Montpelier Tabernacle Renovations.rvt



C1 ADA RAMP PLAN

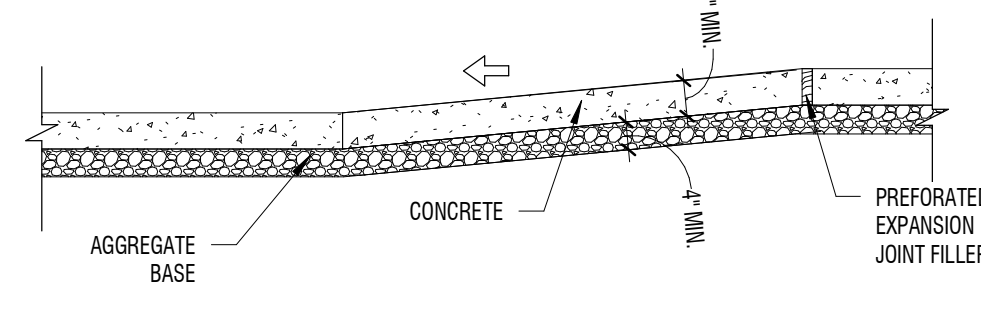
1/4" = 1'-0"

- NOTES
1. PROVIDE A TURNING SPACE WITH 2% OR FLATTER SLOPE IN EACH DIRECTION. TURNING SPACES MAY OVERLAP WITH OTHER TURNING SPACES AND CLEAR SPACES.
  2. PROVIDE A CLEAR SPACE BEYOND THE BOTTOM OF THE GRADE BREAK THAT IS WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAFFIC LANE.
  3. DETECTABLE WARNING SURFACES CONSIST OF TRUNCATED DOMES ALIGNED IN A SQUARE OR RADIAL GRID PATTERN. PROVIDE DETECTABLE WARNING SURFACES THAT CONTRAST VISUALLY WITH ADJACENT GUTTER, HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ENSURE THAT THE DETECTABLE WARNING SURFACE EXTENDS THE FULL WIDTH OF THE RAMP RUN (EXCLUDING FLARED SIDES) OR TURNING SPACES.



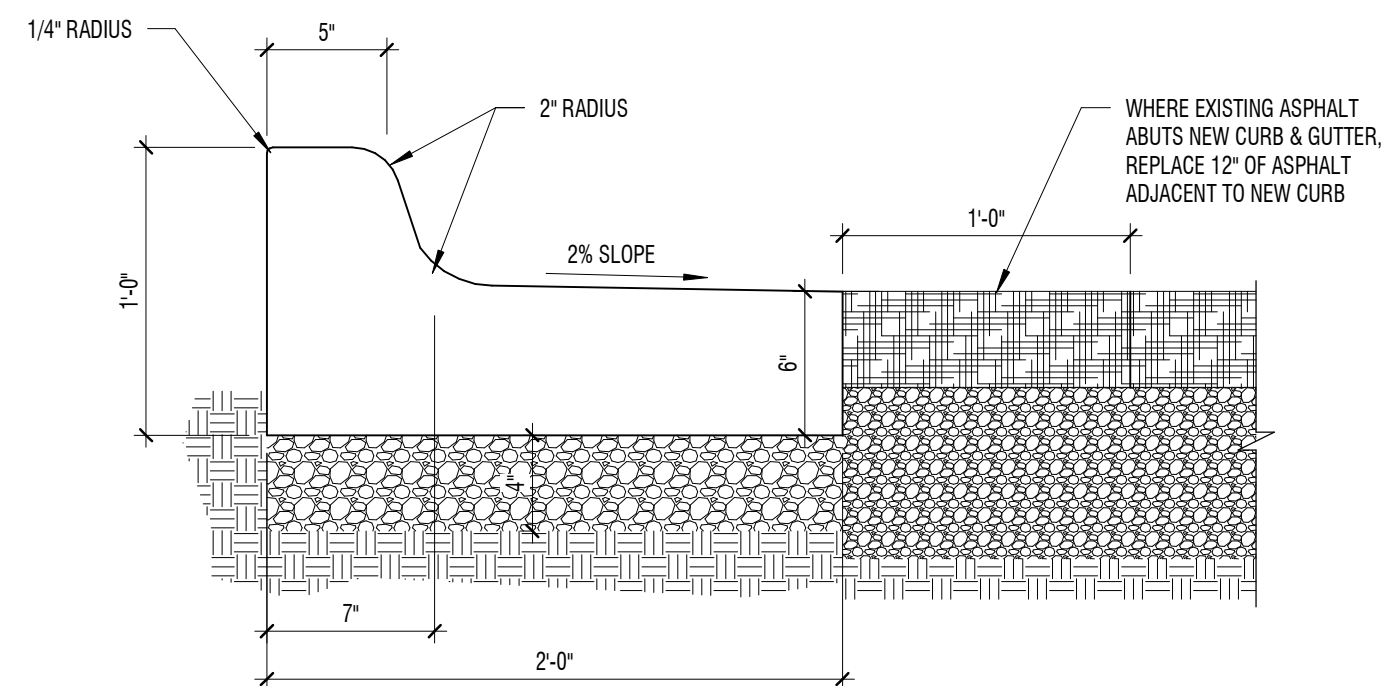
B1 ADA RAMP DETAIL

NTS



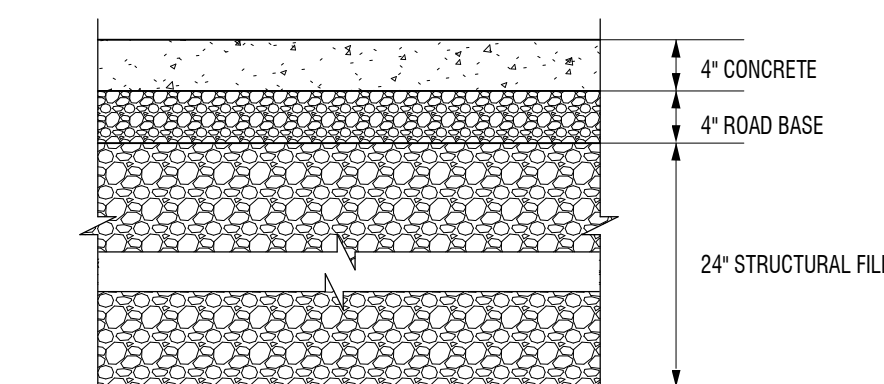
B2 ADA RAMP DETAIL

NTS



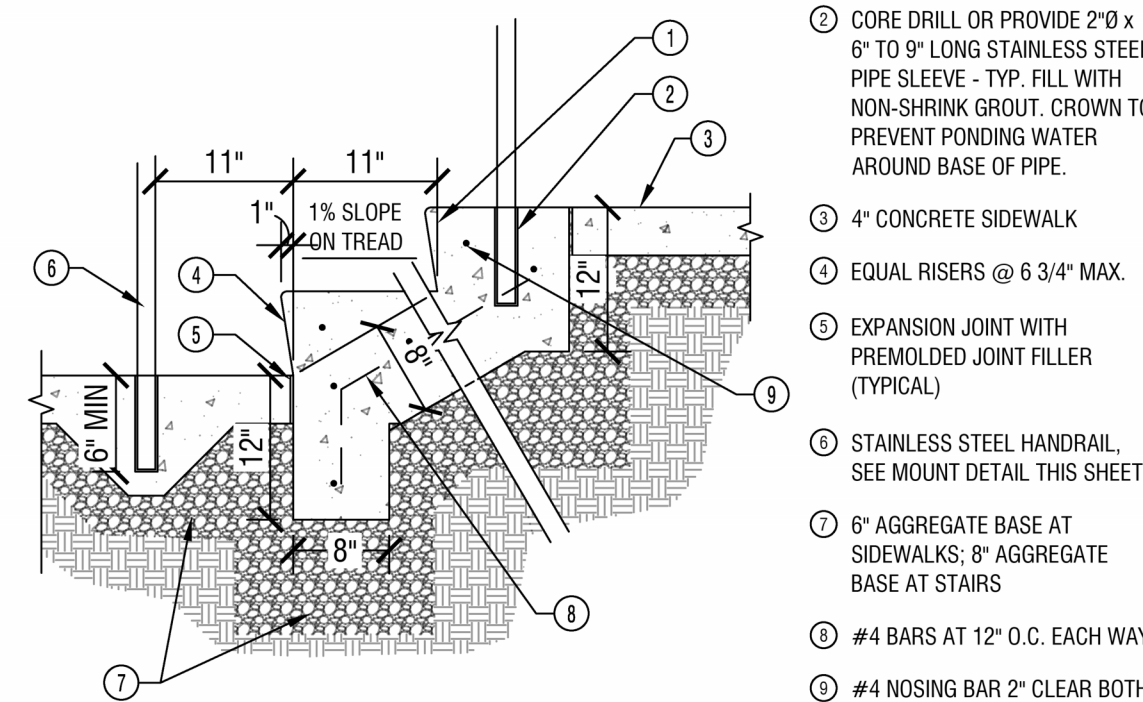
A1 SPILL CURB & GUTTER

NTS



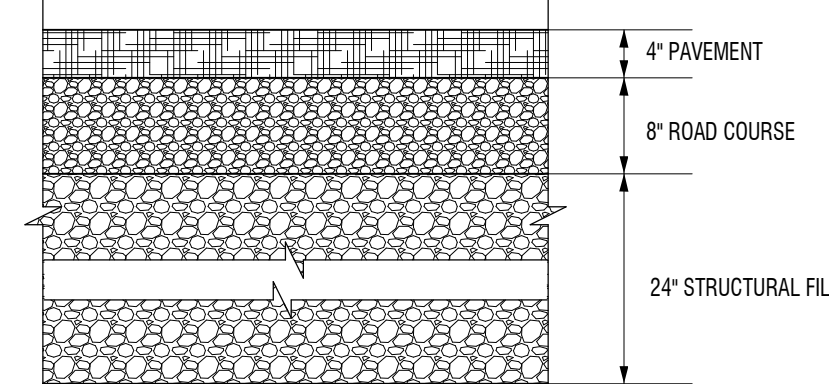
A2 SIDEWALK SECTION

NTS



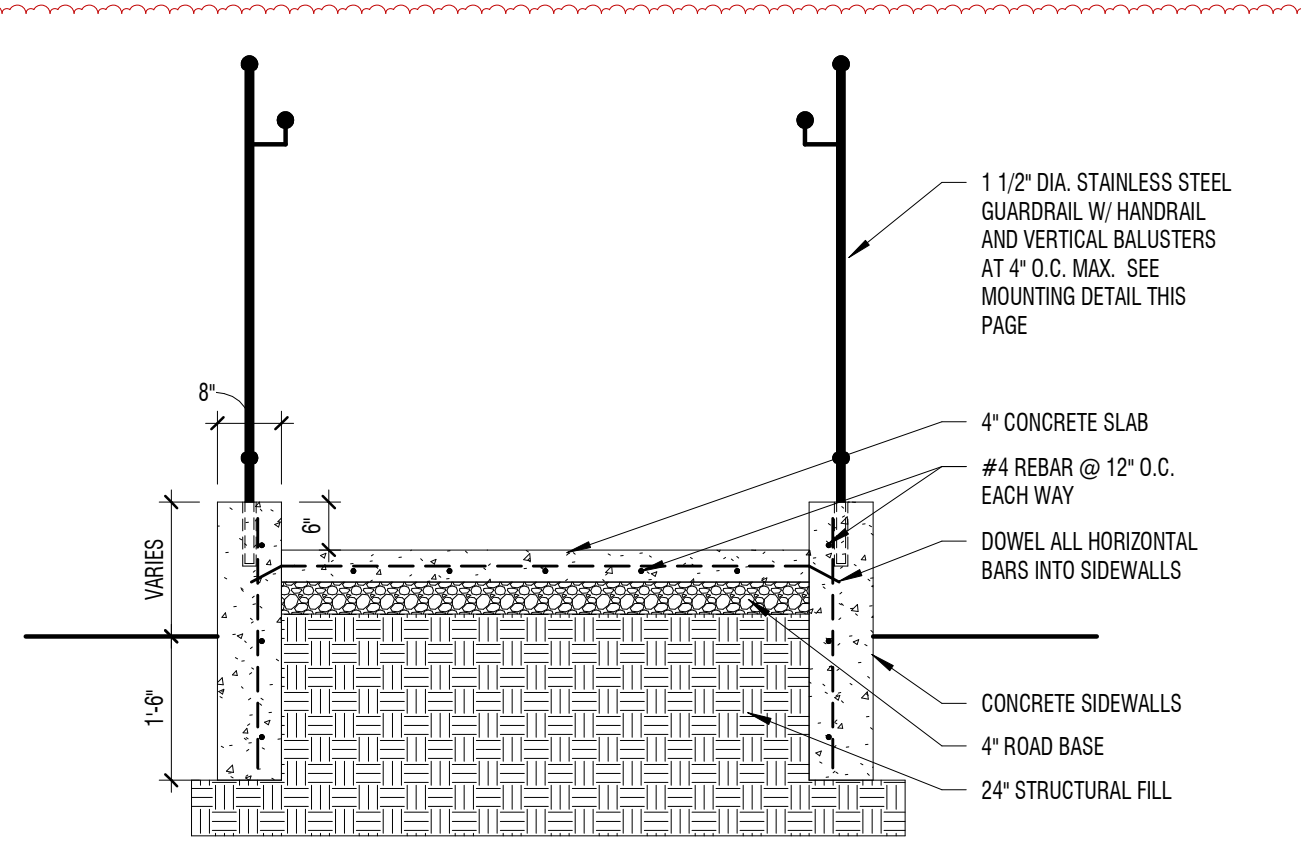
B4 STAIR DETAIL

3/4" = 1'-0"



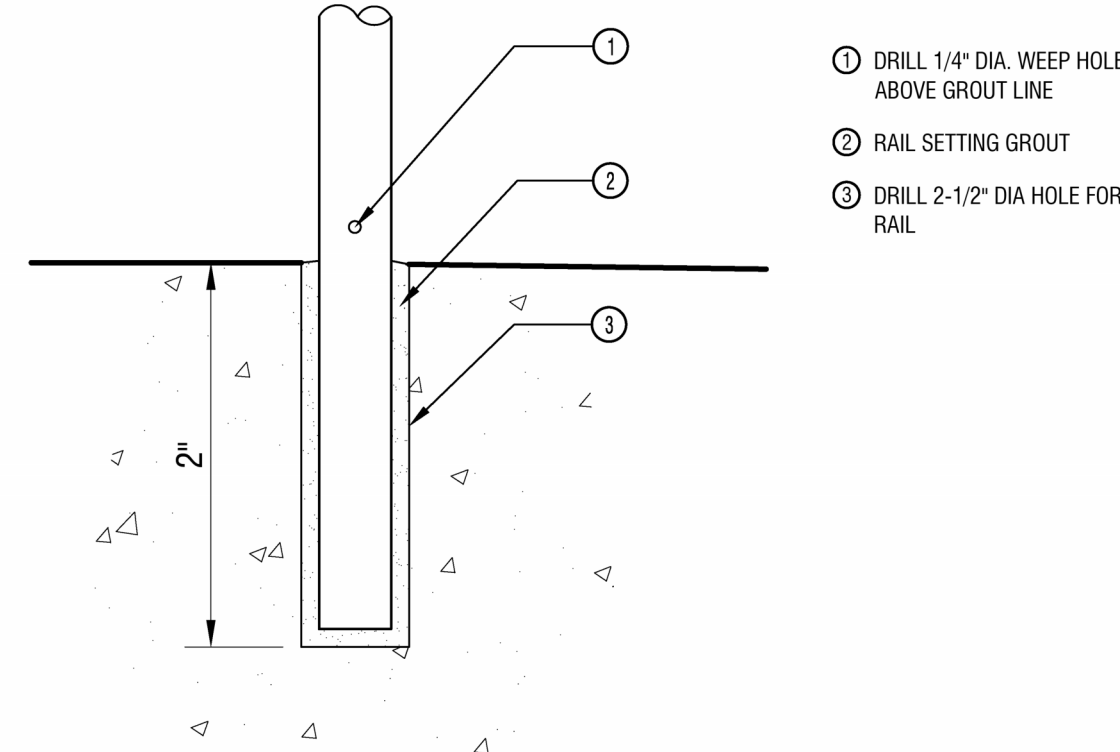
A3 PAVEMENT SECTION

NTS



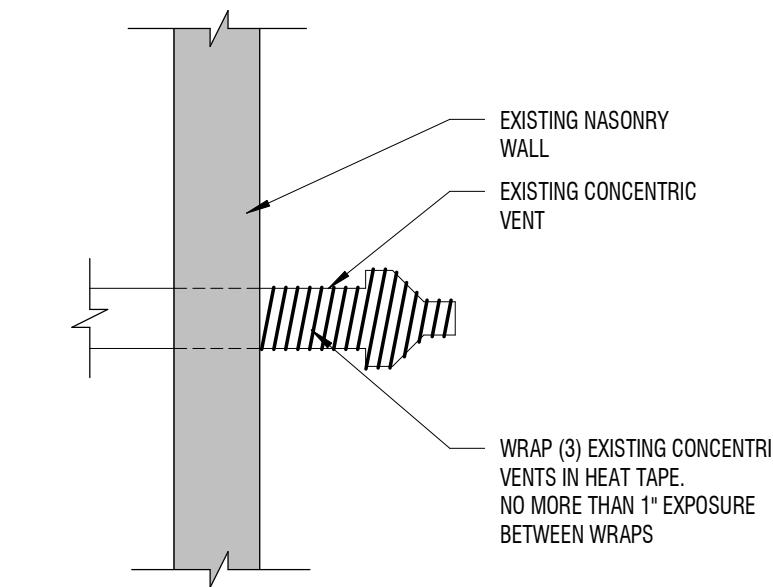
C4 WEST RAMP DETAIL

1/2" = 1'-0"



B5 RAILING DETAIL

3" = 1'-0"

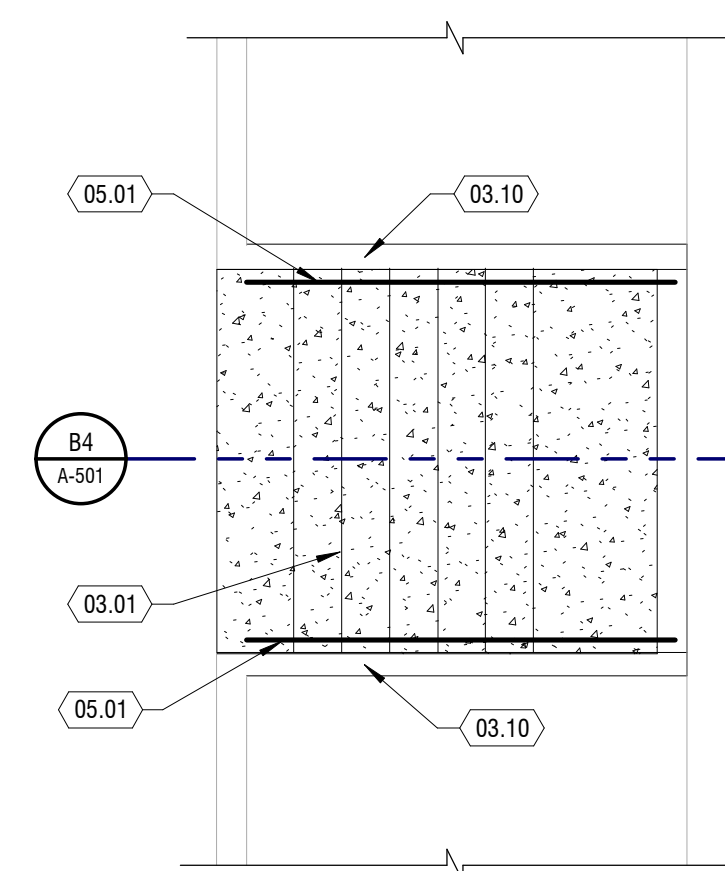


A5 CONCENTRIC VENT - HEAT TAPE DETAIL

NTS

## KEYNOTES

MARK	DESCRIPTION
03.01	CONCRETE STAIRS AND RAILING TO MATCH EXISTING
03.10	(E) CONCRETE RETAINING WALL TO BE REMOVED AND REPLACED. MATCH EXISTING
05.01	1 1/2" STAINLESS STEEL HAND RAIL



C5 STAIR PLAN

1/4" = 1'-0"

MARKS: 1 10/23/2024

PROJECT #: 224075

DRAWN BY: LF

CHECKED BY: RL

ISSUED: 10.18.2024

DATE: 10/23/2024

DESCRIPTION: BID ADDENDUM #1

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DRAWN BY: LF

CHECKED BY: RL

ISSUED: 10.18.2024

DATE: 10/23/2024



630 WASHINGTON ST. MONTEPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

[illegible]

PROJECT #: 224075  
DRAWN BY: LF  
CHECKED BY: RL  
ISSUED: 10.18.2024



A-504

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BID DOCUMENTS



## C1 WEST RAMP



C2  
FENCE



## C3 MECHANICAL VENTS



A1	PLANTER BED/SIDEWALK
NTS	



## A2 CRACK AT UPPER STAIR WALL



## A3 SPRINKLER CONDUIT SEPARATION



10/23/2024 7:37:34 AM Autodesk Docs/224075 - Montpelier Tabernacle Renovations/Category: Tabernacle Renovations\_024.rvt

A  
B  
C  
D

1

# LIGHTING PLAN - MAIN LEVEL

3/16" = 1'-0"

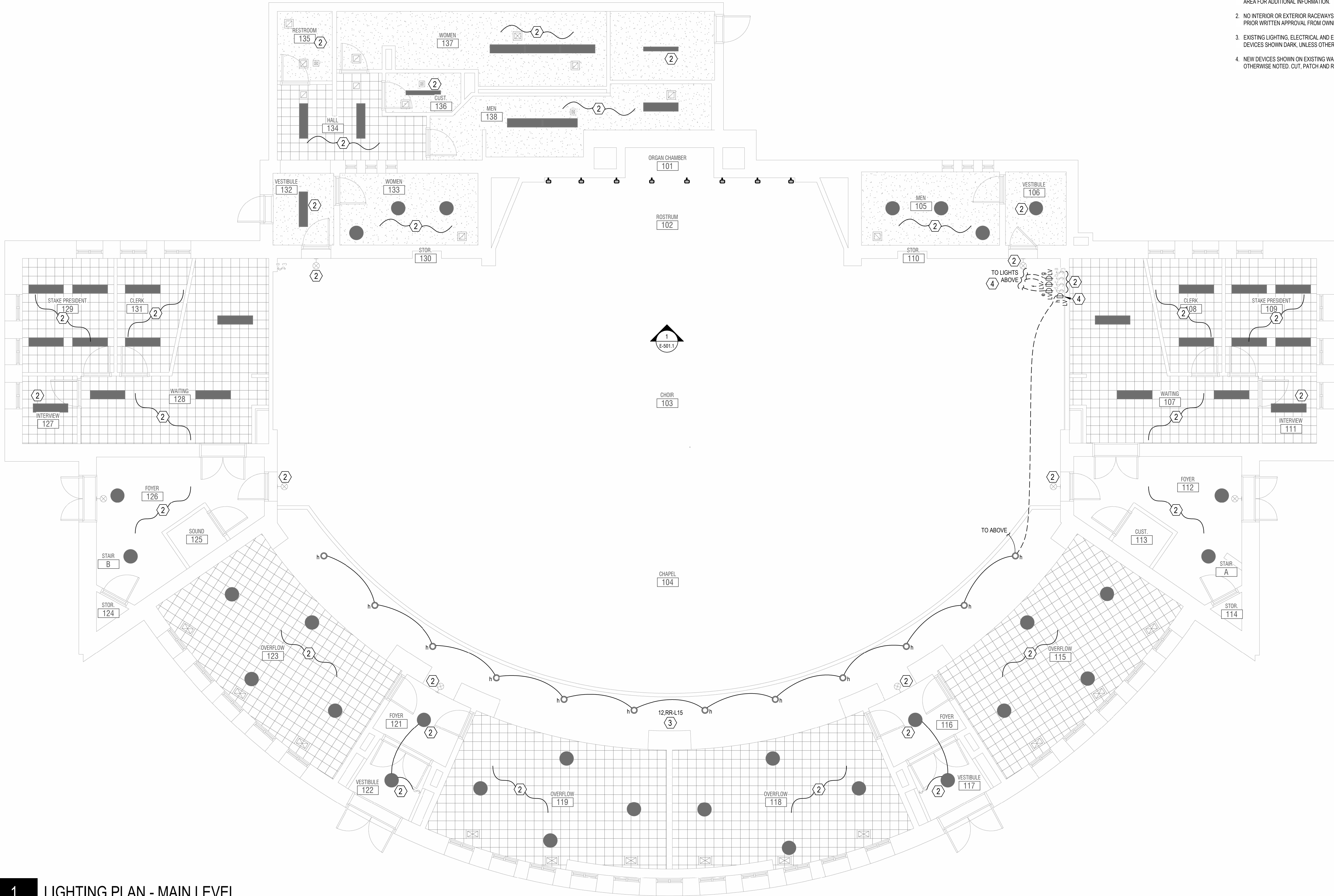
1

2

3

4

5



## KEYED NOTES

1. EXISTING DISTRIBUTION TO REMAIN.
2. EXISTING LIGHTING TO REMAIN.
3. CUT NEW CANS INTO EXISTING CEILING AFTER ASBESTOS ABATEMENT.
4. PROVIDE NEW LIGHTING CONTROL AS INDICATED.

## GENERAL NOTES

1. COORDINATE ALL SWITCH, OUTLET, LIGHT AND OTHER DEVICE LOCATIONS WITH ARCHITECTURAL ELEMENTS (CABINETS, WINDOWS ETC.) PRIOR TO ROUGH-IN. REVIEW ARCHITECTURAL INTERIOR ELEVATIONS PRIOR TO ROUGH-IN OF EACH AREA FOR ADDITIONAL INFORMATION.
2. NO INTERIOR OR EXTERIOR RACEWAYS SHALL BE SURFACE MOUNTED WITHOUT PRIOR WRITTEN APPROVAL FROM OWNER AND ARCHITECT.
3. EXISTING LIGHTING, ELECTRICAL AND ELECTRONIC DEVICES SHOWN LIGHT. NEW DEVICES SHOWN DARK, UNLESS OTHERWISE INDICATED.
4. NEW DEVICES SHOWN ON EXISTING WALLS SHALL FINISH FLUSH WITH WALL UNLESS OTHERWISE NOTED. CUT, PATCH AND REPAIR SURFACES AS REQUIRED.

## MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST., MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

MARKS  
1  
DATE  
10.23.2024  
DESCRIPTION  
ADDED

PROJECT #:  
224075  
DRAWN BY:  
D.PATTON  
CHECKED BY:  
S.SWENSON  
ISSUED:  
10.11.2024



## CONSTRUCTION DOCUMENTS



## ELECTRICAL PLANS

E-201.1

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10/23/2024 7:37:38 AM Autodesk Docs/7264075 - Montpelier Tabernacle Renovations & Staircase Tabernacle Renovations\_204.rvt

D

C

B

A

4

POWER PLAN - LEVEL 2

1/8" = 1'-0"

3

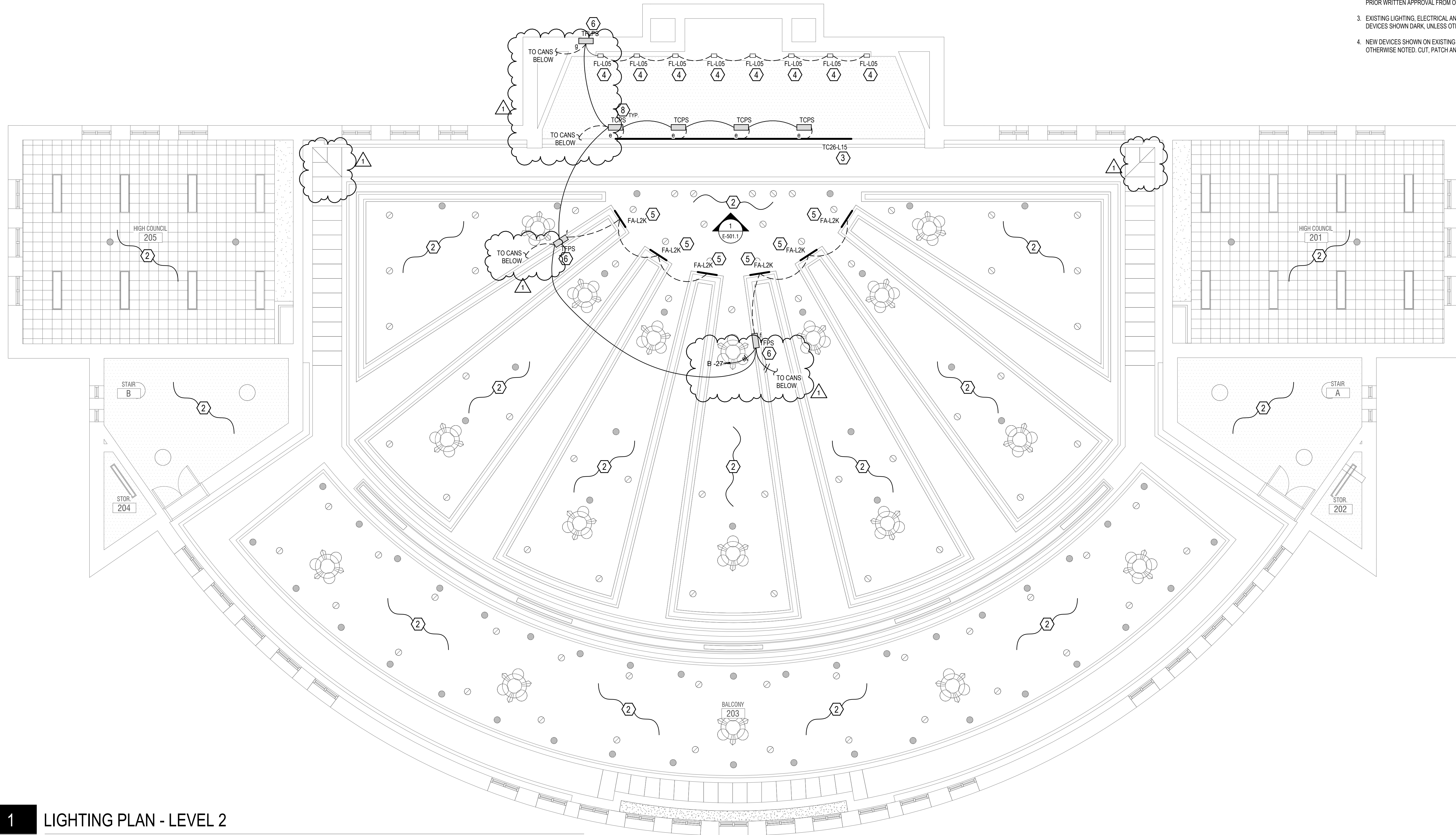
POWER PLAN - MAIN LEVEL

1/8" = 1'-0"

2

POWER PLAN: BASEMENT

1/8" = 1'-0"



1

LIGHTING PLAN - LEVEL 2

3/16" = 1'-0"

#### KEYED NOTES

- EXISTING DISTRIBUTION TO REMAIN.
- EXISTING LIGHTING TO REMAIN.
- MOUNT FIXTURE TO STAGE SIDE OF EXISTING CEILING WOOD TRIM PIECE. VERIFY LENGTHS WITH FIELD CONDITIONS. SEE DETAIL 3/E-501.1.
- MOUNT FIXTURE THROUGH DECORATIVE WOOD ELEMENTS, SEE DETAIL 5/E-501.1 FOR ADDITIONAL INFORMATION. COORDINATE INSTALLATION WITH FIELD CONDITIONS.
- MOUNT LINEAR FLOOD TO FRONT OF EXISTING ARCHITECTURAL TRIM PIECE. SEE DETAIL 4/E-501.1.
- POWER SUPPLY LOCATION INDICATED ONLY FOR DRAWING CLARITY. VERIFY CONDUCTOR SIZING CONNECTIONS TO LUMINAIRES PRIOR TO BID. LOCATE POWER SUPPLIES CONCEALED/ACCESSIBLE PER FIELD CONDITIONS.
- REPLACE SERVICE LATERAL CONDUITS ENTERING CT WHICH HAVE PULLED OUT OF EXISTING CAN. PROVIDE (2) NEW 3" GRC RISERS FROM IN-GRADE COUPLING TO CT ENCLOSURE. COORDINATE WORK WITH LOCAL UTILITY REP.
- REPAIR CONDUIT ENTRIES INTO SPRINKLER CONTROLLER WHICH HAVE PULLED OUT OF ENCLOSURE AND/OR BEEN BROKEN. REPAIR EXISTING 2" GRC RISER WITH SHORT NIPPLE AS REQUIRED. REPLACE EXISTING 3/4" PVC RISER WITH GRC FROM CONCRETE TO ENCLOSURE.

#### GENERAL NOTES

- COORDINATE ALL SWITCH, OUTLET, LIGHT AND OTHER DEVICE LOCATIONS WITH ARCHITECTURAL ELEMENTS (CABINETS, WINDOWS ETC.) PRIOR TO ROUGH-IN. REVIEW ARCHITECTURAL INTERIOR ELEVATIONS PRIOR TO ROUGH-IN OF EACH AREA FOR ADDITIONAL INFORMATION.
- NO INTERIOR OR EXTERIOR RACEWAYS SHALL BE SURFACE MOUNTED WITHOUT PRIOR WRITTEN APPROVAL FROM OWNER AND ARCHITECT.
- EXISTING LIGHTING, ELECTRICAL AND ELECTRONIC DEVICES SHOWN LIGHT. NEW DEVICES SHOWN DARK, UNLESS OTHERWISE INDICATED.
- NEW DEVICES SHOWN ON EXISTING WALLS SHALL FINISH FLUSH WITH WALL UNLESS OTHERWISE NOTED. CUT, PATCH AND REPAIR SURFACES AS REQUIRED.

DESIGN  
WEST

LOGAN, UTAH  
(435) 752-7031  
SALT LAKE CITY, UTAH  
(801) 539-8221

MONTPELIER TABERNACLE RENOVATIONS

630 WASHINGTON ST, MONTPELIER, ID 83254

THE CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS

MARKS  
DATE  
10/23/2024

PROJECT #:  
224075  
DRAWN BY:  
D.PATTON  
CHECKED BY:  
S.SWENSON  
ISSUED:  
10.11.2024



CONSTRUCTION DOCUMENTS




ELECTRICAL PLANS

E-202.1







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FA- L2K



**Zolo™ 7**  
INDOOR/OUTDOOR LED  
WASHER/GRAZER

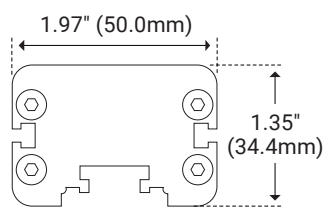
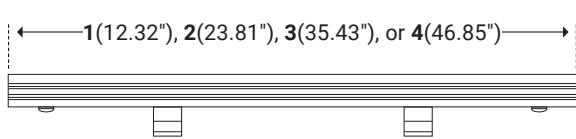


### Description

Zolo 7 is our brightest outdoor rated washer/grazer. While remaining slim, Zolo 7 offers 1100 lumens a foot! With multiple beam angles, kelvin temperatures, colors, and accessories Zolo 7 can light any project.


### Dimensions

Length	12.32" (313mm), 23.81" (605mm), 35.43" (900mm), 46.85" (1190mm)
Width	1.97" (50.0mm)
Height	1.35" (34.4mm)

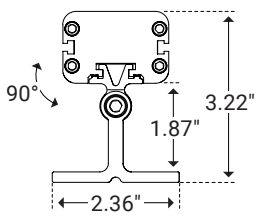


### Mounting

**2" Stand Off**



Unit Number	Z-07-S2
Ordering Code	S2
Length	1.18" (30.0mm)
Width	2.36" (60.0mm)
Stand Off Height	1.87" (47.4mm)
Rotation	90°



FL- L105




**FXLuminaire**

**LC LED Up Light** DESIGNER PREMIUM












High-performance wall wash light in 3, 6, or 9 LED. Available in aluminum or brass construction. RGBW capable with Luxor® systems.

TC\*- L15




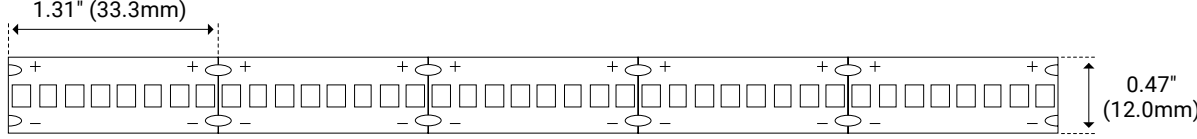
**Uniform Static White (Indoor)**  
INDOOR WHITE LIGHT TAPE



### Description

Our Uniform Static White series ensures single-bin color consistency across every output option and eliminates diode imaging when paired with any Kelvin channel.

### Dimensions



LIGHT FIXTURE SCHEDULE						
	TYPE	MANUFACTURER/CATALOG NO.	DESCRIPTION	MOUNTING	POWER	LAMPS
	FA- L2K TFPS	KELVIX Z7-2-11-35-20-S2-CCBA-NA ULV36 POWER SUPPLY(IES) EQUIVALENT ONLY WITH PRIOR OWNER APPROVAL	LINEAR FLOOD LIGHT; ADJUSTABLE; 2"W X 1.5"H MAX DIMENSIONS; 2" STANDOFF ADJUSTABLE MOUNT; TFPS DIMMABLE POWER SUPPLIES (QUANTITY AS DETERMINED BY FACTORY); WIRING LEADS, JUMPERS, AND OTHER ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION; CUSTOM FINISH TO MATCH DECORATIVE GOLD TRIM	WALL SEE DETAIL	22 W	2000 LUMEN NOMINAL LED 3500K
	FL- L05 TFLPS	FX LUMINAIRE LC-ZDC-9LED-SCBAMOUNT/8R-XX MOUNT: MM-050-* (PREFERRED) OR WP-RD-050-* POWER SUPPLY/CNTRL: EX-150 EQUIVALENT ONLY WITH PRIOR OWNER APPROVAL	LANDSCAPE FLOOD LIGHT; AIMABLE HEAD; LOW VOLTAGE; DIMMABLE; DIMMABLE DRIVER; 4" SQUARE MAX HEAD; COLOR AS SELECTED BY ARCHITECT; 8" EXTENSION ARM; MOUNTING ACCESSORIES AS REQUIRED BY FIELD CONDITIONS (MINI MOUNT PREFERRED); ENCLOSED TRANSFORMER(S) AS REQUIRED BY MANUFACTURER	WALL SEE DETAIL	11 W	500 LUMEN NOMINAL LED 3500K
1	RR- L15	INDY LLP4-15LM-35K-MVOLT-G4-80CRI-EZ1-WPR-CS EQUIVALENT ONLY WITH PRIOR APPROVAL	REMODEL RECESSED CAN; LED LAMPING; CLEAR, OPEN, SPECULAR CONE; 6" NOMINAL OPENING; SELF-FLANGED TO MATCH CONE; DIMMABLE (1%); 70 DEGREE BEAM ANGLE; LOW PROFILE (2" MAX INSTALLATION DEPTH)	RECESS	13.8 W	1500 LUMEN NOMINAL LED 3500K
	TC*- L15 TCPS	KELVIX UN11-WL-I-1500-35K-24V/CH-602-CCBA-*FR-CP-EC ULV96-M POWER SUPPLY(IES) EQUIVALENT ONLY WITH PRIOR OWNER APPROVAL	LED TAPE LIGHT--CURVED RUNS; ALUMINUM CHANNEL WITH FROSTED COVER AND CUSTOM RAL FINISH; RUN LENGTHS AS INDICATED ON DRAWINGS FOR EACH * LOCATION; TCPS DIMMABLE POWER SUPPLIES (QUANTITY AS DETERMINED BY FACTORY); WIRING LEADS, JUMPERS, AND OTHER ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION	SURFACE CURVED	14.4 W/LF	1500 LUMEN/FT NOMINAL LED 3500K
NOTES						

PANEL		B		TYPE		SQ D NO		3		Ø		4		WIRE		120/208		VOLTS		LOCATION		MOUNTING	
				REMARKS																L2 STAIR CLOSET			
																				X		FLUSH SURFACE	