

UDOT MAINTENANCE SHED DRAIN REPAIR

15400 NORTH 6000 WEST | 11871 NORTH US 89
RIVERSIDE UT, 84334 | LOGAN SUMMIT, UT 84321

DFCM CONTRACT # 2470405
 DFCM PROJECT # 25054900

UDOT MAINTENANCE SHEDS - DRAIN REPAIR
 LOGAN SUMMIT & RIVERSIDE UTAH
 CODE ANALYSIS 2021 INTERNATIONAL BUILDING CODE

A. OCCUPANCY CLASSIFICATION S1
 B. TYPE OF CONSTRUCTION VB

C. LOCATION ON PROPERTY - RIVERSIDE
 NORTH 100'-0" (TO PROPERTY LINE)
 SOUTH 78'-0" (TO PROPERTY LINE)
 EAST 178'-0" (TO PROPERTY LINE)
 WEST 90'-0" (TO PROPERTY LINE)

D. LOCATION ON PROPERTY - LOGAN SUMMIT
 NORTH 32'-0" (TO PROPERTY LINE)
 SOUTH 78'-0" (TO PROPERTY LINE)
 EAST 42'-0" (TO PROPERTY LINE)
 WEST 38'-0" (TO PROPERTY LINE)

E. SEISMIC ZONE SEE STRUCTURAL CALCS

F. ALLOWABLE AREA
 S1 OCCUPANCY = 9,000 sf (IBC TABLE 506.2)

ACTUAL AREA (IBC TABLE 506.2)

S1 OCCUPANCY (RIVERSIDE) = 10,000 sf
 S1 OCCUPANCY (LOGAN SUMMIT) = 6,072 sf

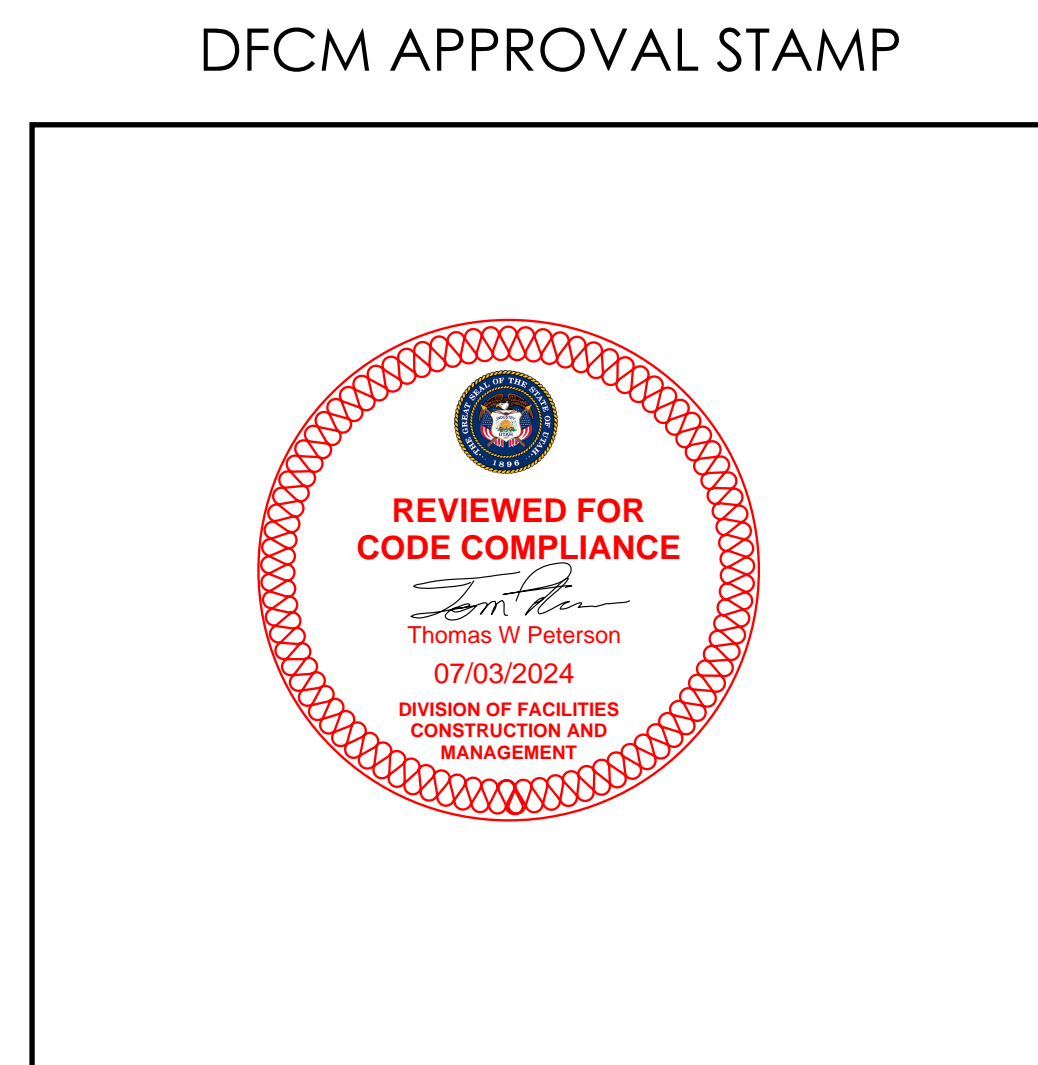
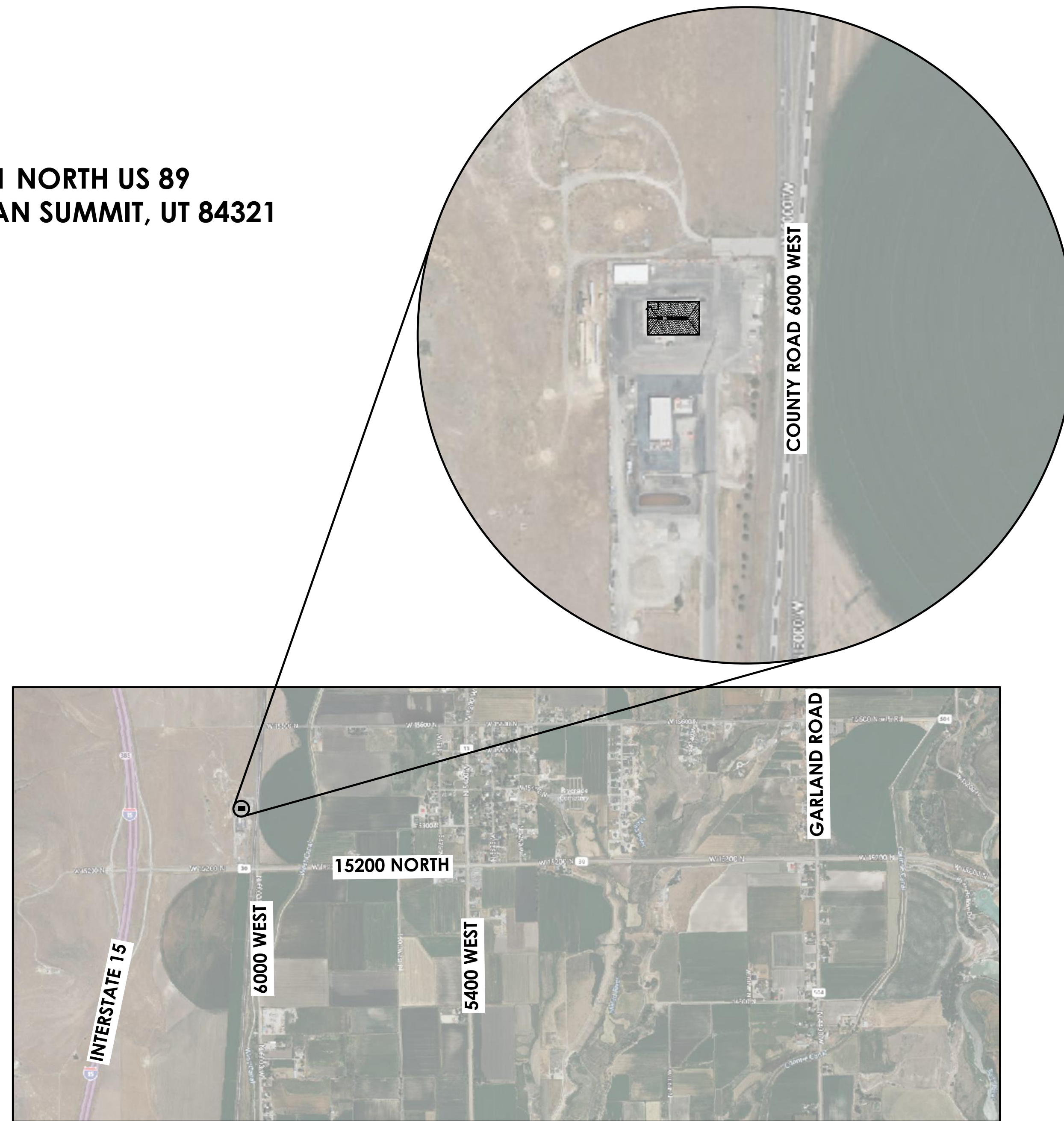
TOTAL SQ FT 10,290 sf

G. OCCUPANT LOAD
 LEVEL 1 (S1 OCCUPANCY) RIVERSIDE = 20
 LEVEL 1 (S1 OCCUPANCY) (LOGAN SUMMIT) = 12

H. AUTOMATIC SPRINKLER SYSTEM NO

I. HEIGHT OF BUILDING
 TABULAR HEIGHT AND NUMBER OF STORIES (PER TABLES 504.3 & 504.4)
 S1 OCCUPANCY 40'/1 STORIES

ACTUAL HEIGHT & NUMBER OF STORIES -
 S1 OCCUPANCY 20'/1 STORY



OWNER

UTAH DEPARTMENT OF TRANSPORTATION (UDOT)
 166 SOUTHWELL ST
 OGDEN UT 84404

USER

UTAH DEPARTMENT OF TRANSPORTATION (UDOT)
 15400 NORTH 200 WEST
 RIVERSIDE, UT 84334
 11871 NORTH US 89
 LOGAN SUMMIT, UT 84321

ARCHITECT

CARBON ARCHITECTS
 2032 LINCOLN AVENUE SUITE 102
 OGDEN, UT 84401
 385.244.1140
 CARBONARCHITECTS.US



05/06/24

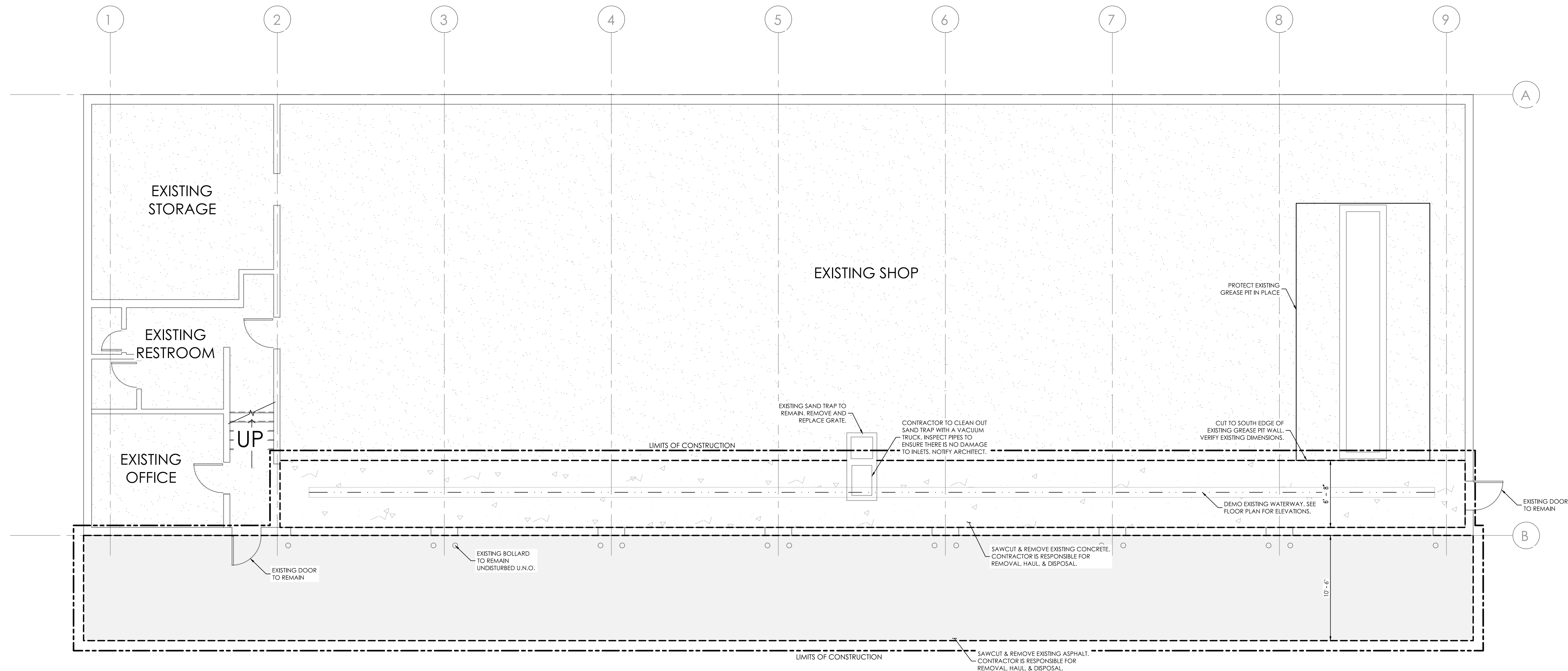
05/06/24 23-4546

UDOT MAINTENANCE SHED
 DRAIN REPAIR
 15200 NORTH 6000 WEST
 RIVERSIDE, UT 84334
 11871 NORTH US 89
 LOGAN SUMMIT, UT 84321

COVER

G100

SCALE:



D DEMOLITION PLAN
1" = 0' = 1/8"

LEGEND

- SAWCUT LINE
- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED
- EXISTING BOLLARD
- EXISTING CONCRETE TO REMAIN
- EXISTING CONCRETE TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED

NOTE

THE RICH COUNTY LANDFILL IS LOCATED 1 MILE WEST OF SAGE CREEK JUNCTION AND 1.4 MILES WEST OF LAKETOWN UTAH.



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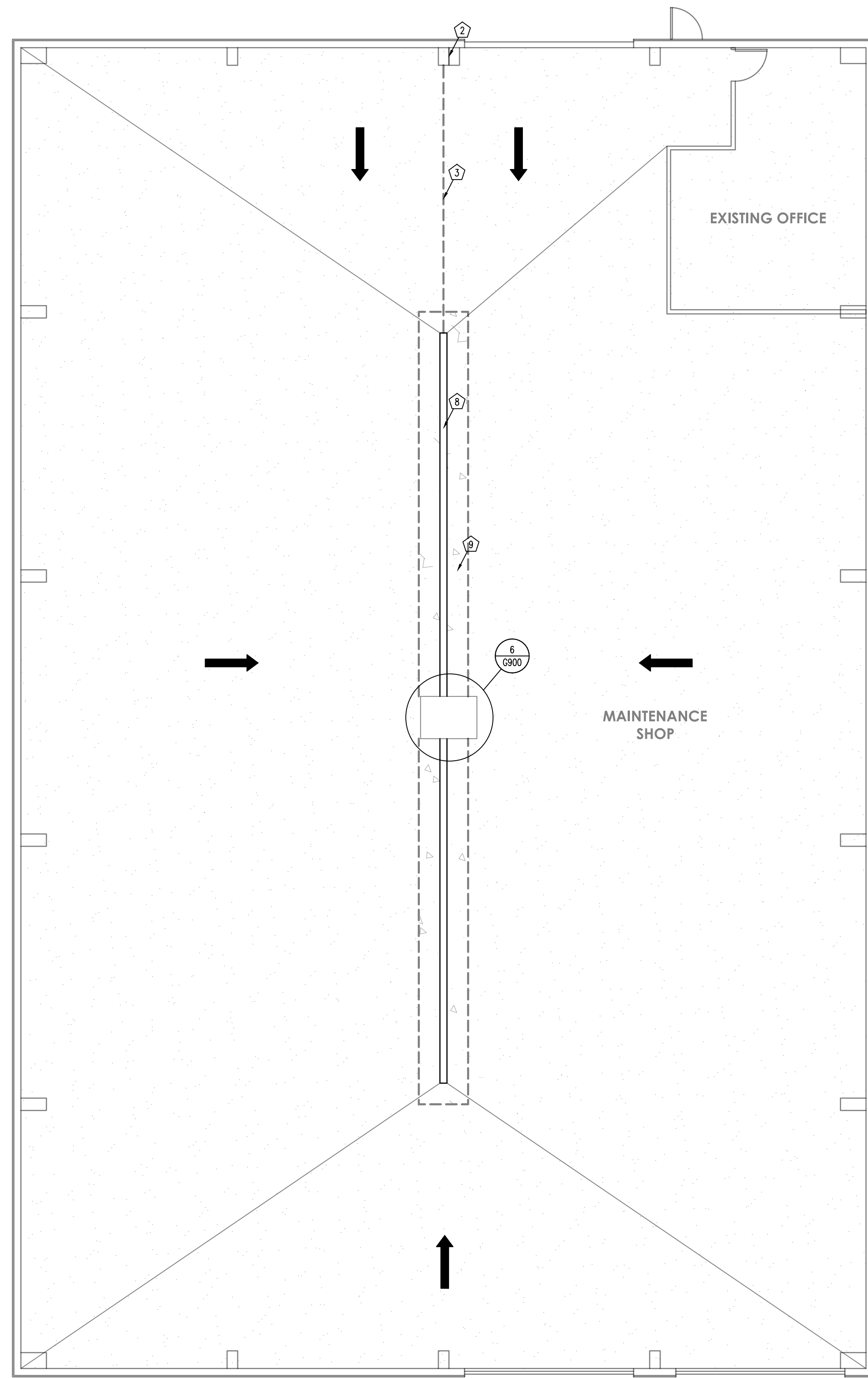
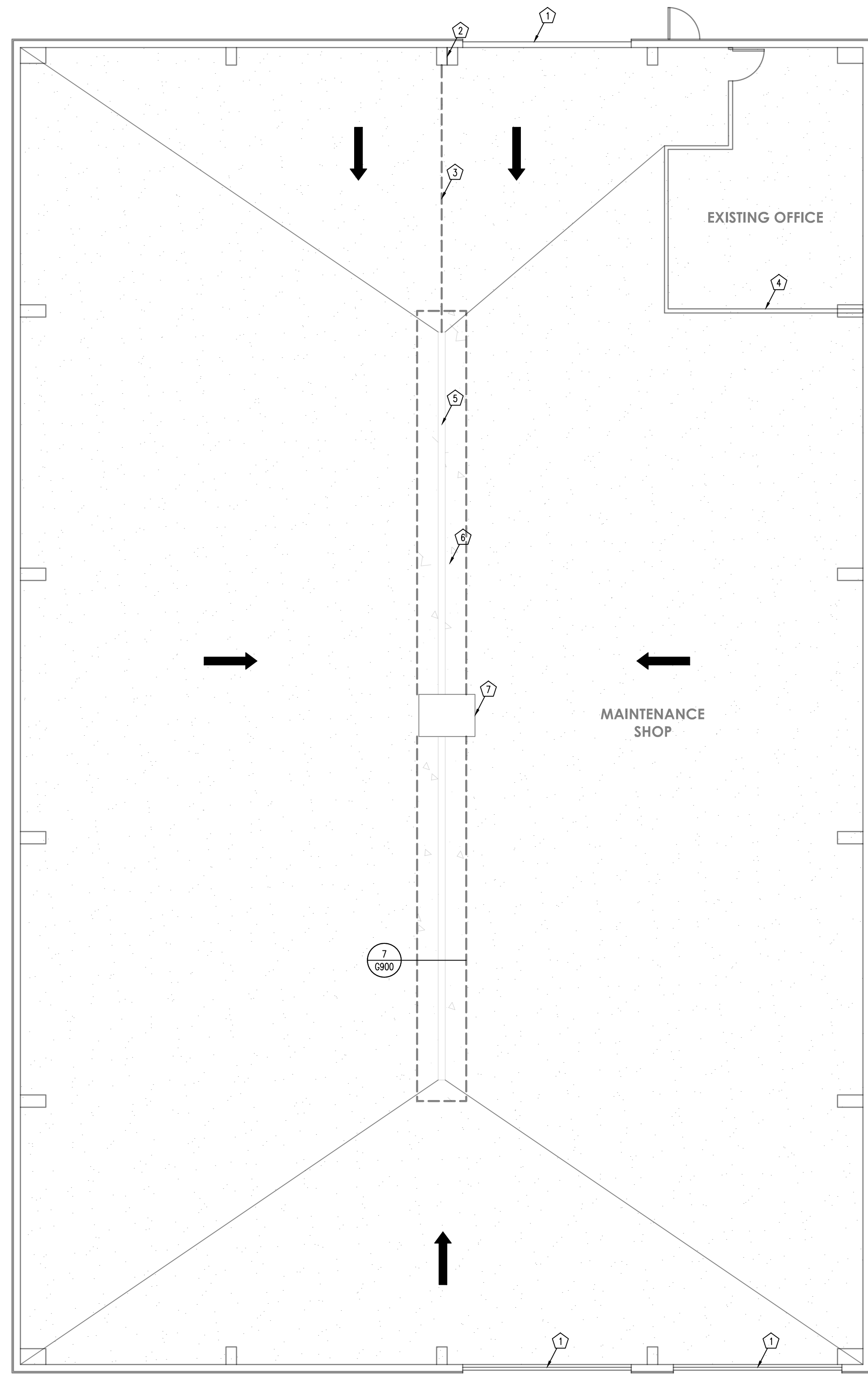
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**UDOT MAINTENANCE SHED
DRAIN REPAIR**
15200 NORTH 6000 WEST
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**DEMOLITION PLAN
- LOGAN SUMMIT
LS100**

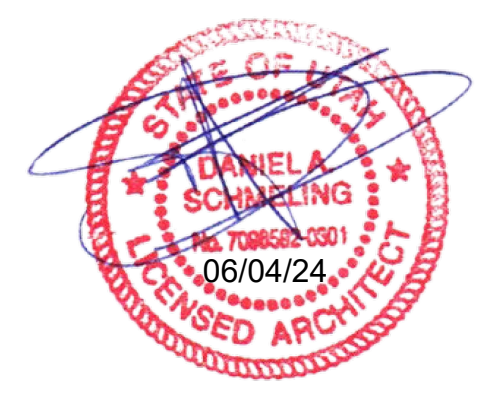
SCALE:



LEGEND

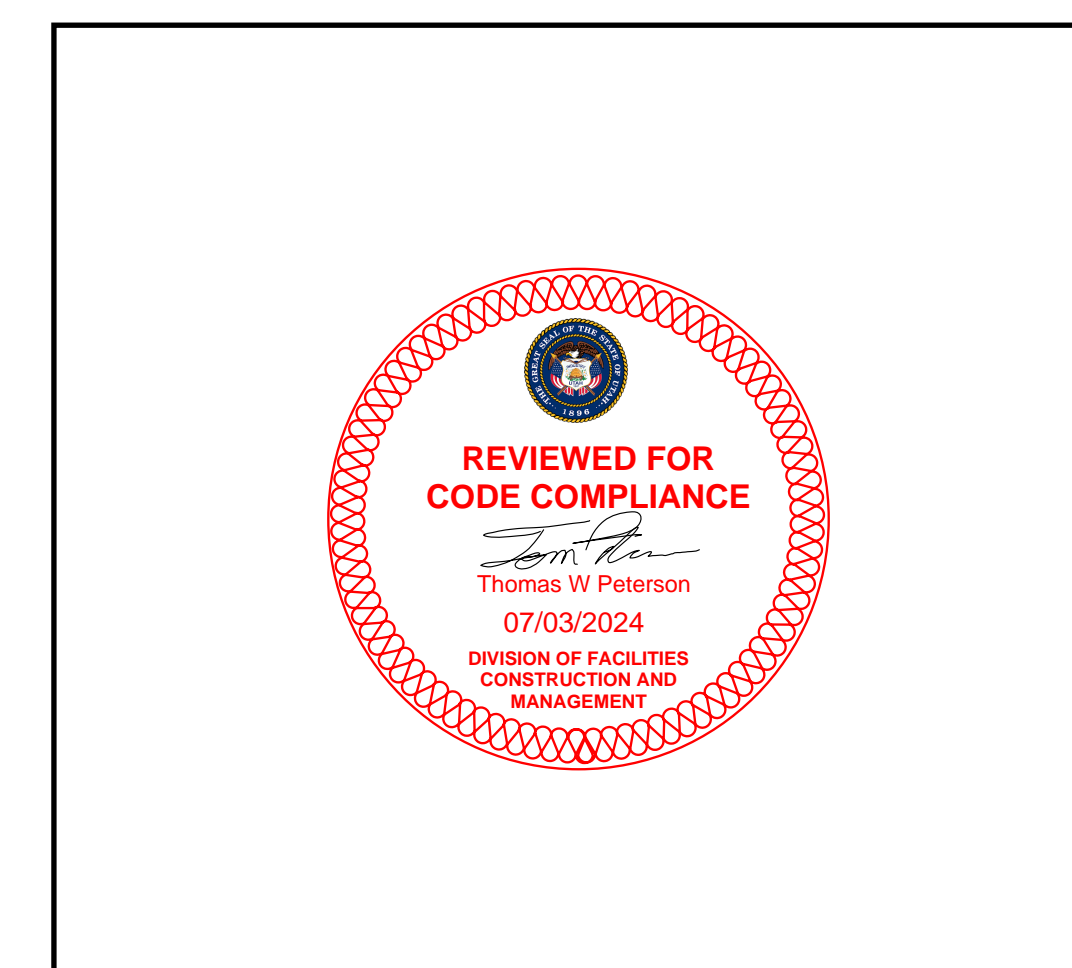
	SAWCUT LINE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	PROPOSED NEW
	EXISTING CONCRETE TO REMAIN
	EXISTING CONCRETE TO BE REMOVED & REPLACED
	EXISTING SLOPE

- KEYNOTES**
- 1 OVERHEAD DOOR TO REMAIN.
 - 2 EXISTING ICE MACHINE.
 - 3 SAWCUT TRENCH WIDE ENOUGH FOR NEW 1" DRAIN LINE TO CONNECT TO EXISTING ICE MACHINE.
 - 4 EXISTING OFFICE WALLS TO REMAIN.
 - 5 DEMO EXISTING TRENCH DRAIN.
 - 6 DEMO EXISTING CONCRETE OFF OF EXISTING TRENCH DRAIN.
 - 7 EXISTING SAND OIL SEPARATOR. PROTECT IN PLACE.
 - 8 CONSTRUCT ACO S200K POWER DRAIN LOAD CLASS F (OR AAE). SEE SHEET C900 FOR DETAILS. ANY SUBSTITUTION REQUEST MUST BE MADE PRIOR TO BID SUBMISSION.
 - 9 CONSTRUCT 24" OF CONCRETE AROUND NEW TRENCH DRAIN. MATCH EXISTING THICKNESS.



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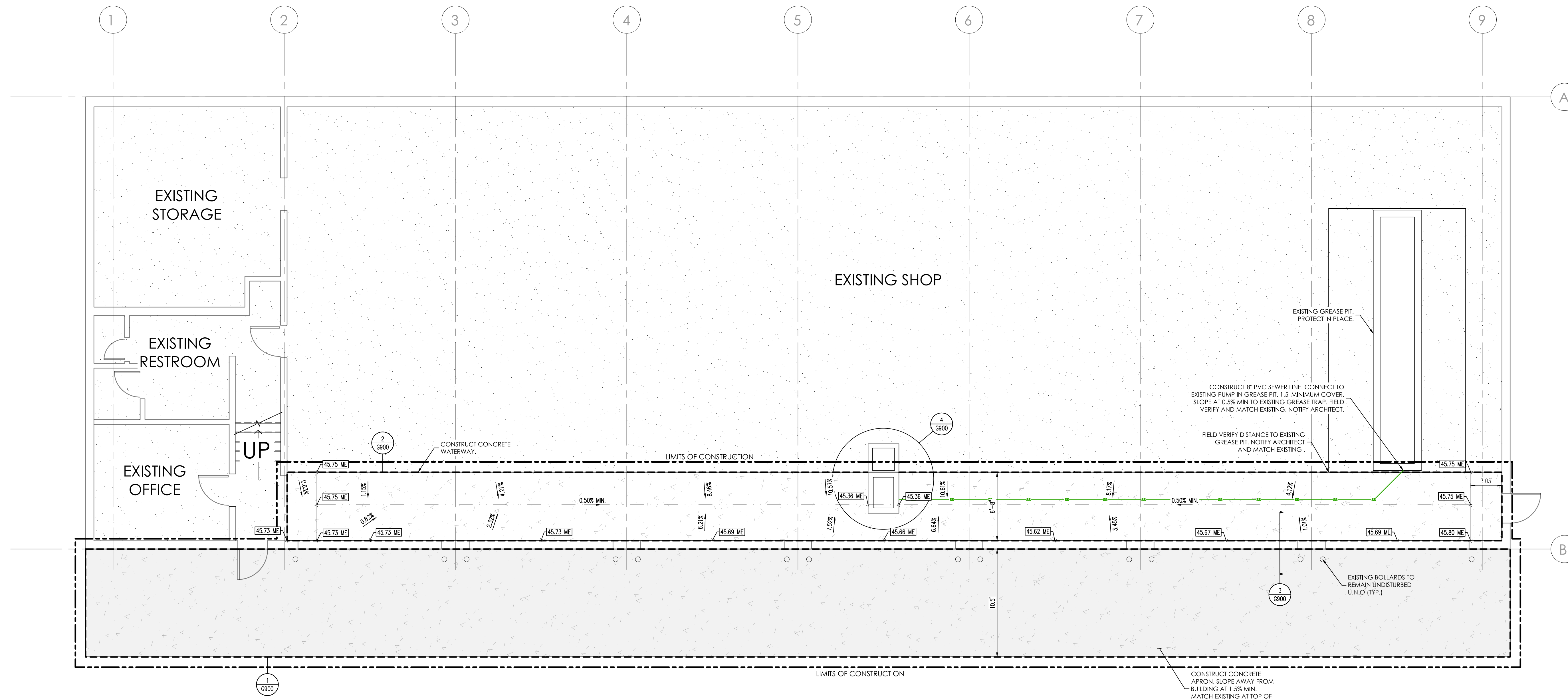
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DEMOLITION & FLOOR
PLAN - RIVERSIDE
R100

SCALE: 1/8" = 1'-0"

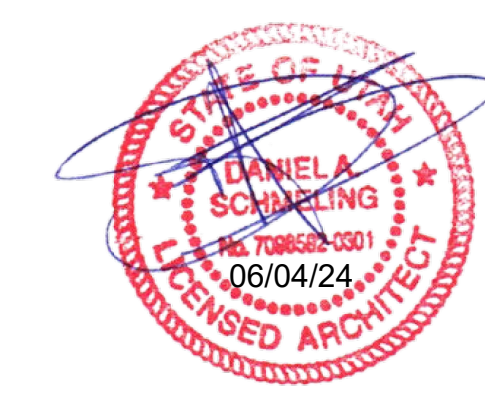


1 LEVEL 1 DRAINAGE PLAN
1" = 0" = 1'



SITE LEGEND

- SAWCUT LINE
- EXISTING TO REMAIN
- PROPOSED NEW
- ▒ PROPOSED ASPHALT
- ▒ EXISTING CONCRETE TO REMAIN
- ▒ PROPOSED CONCRETE



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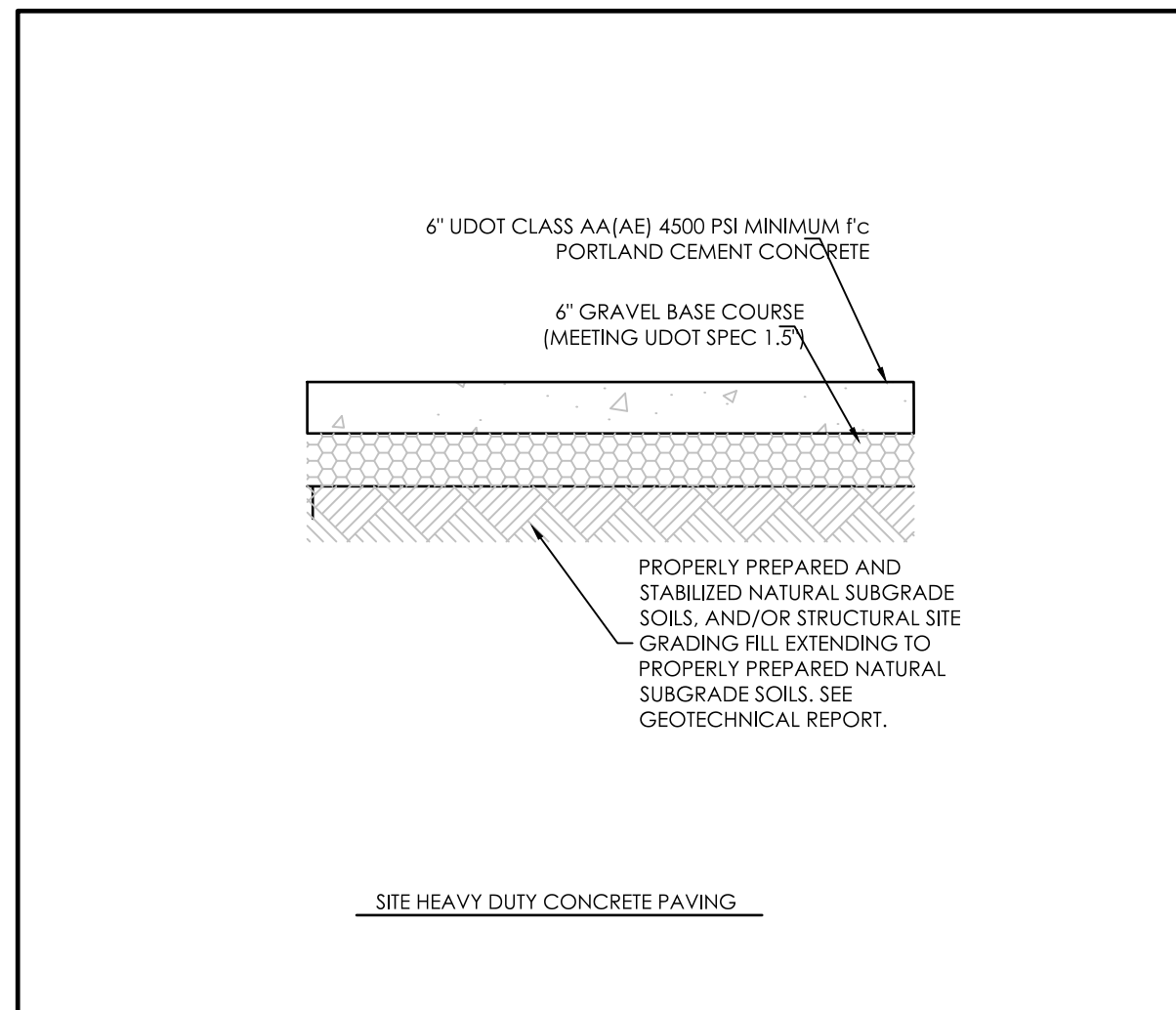
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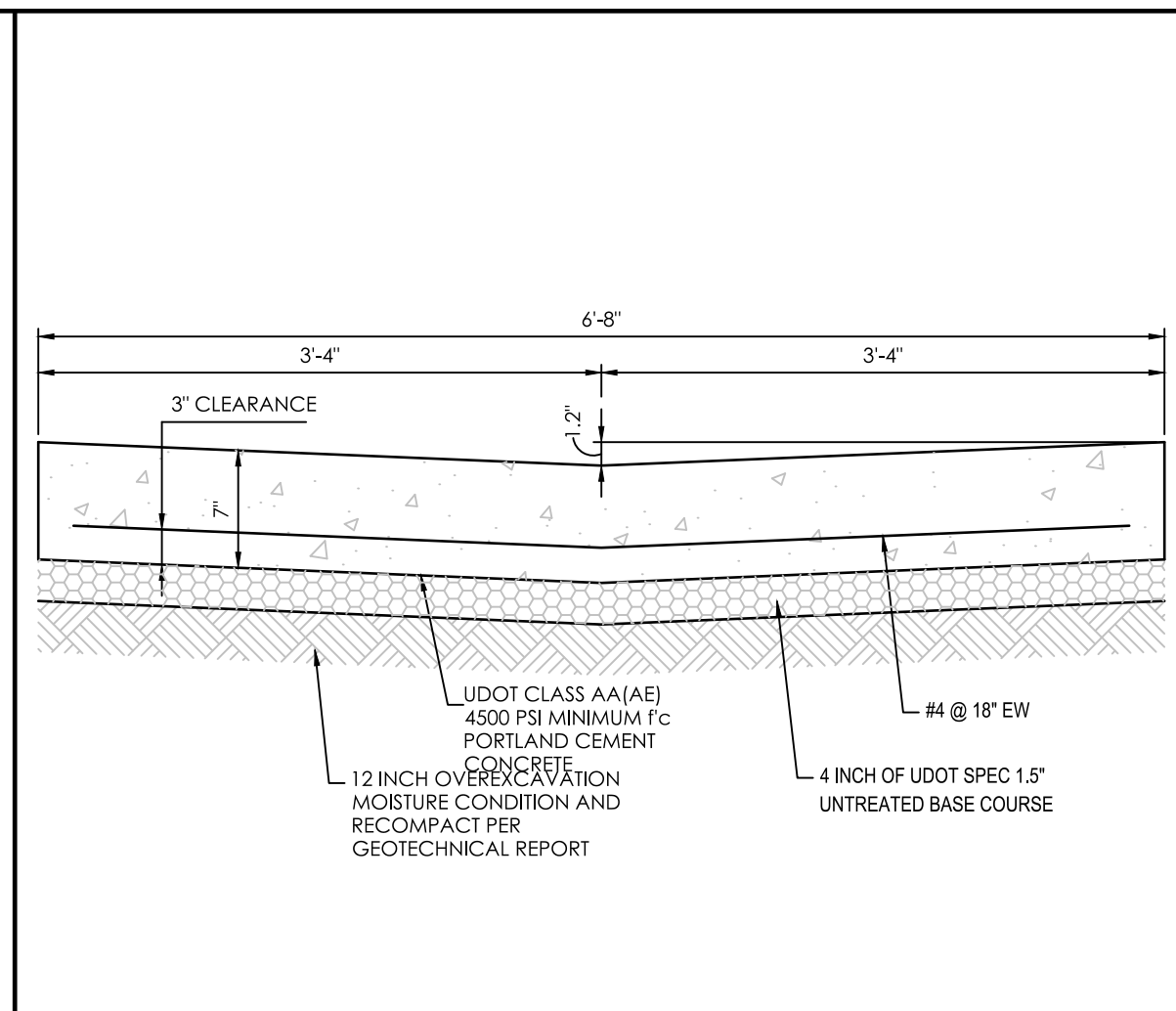
**FLOOR PLAN -
LOGAN SUMMIT**

LS101

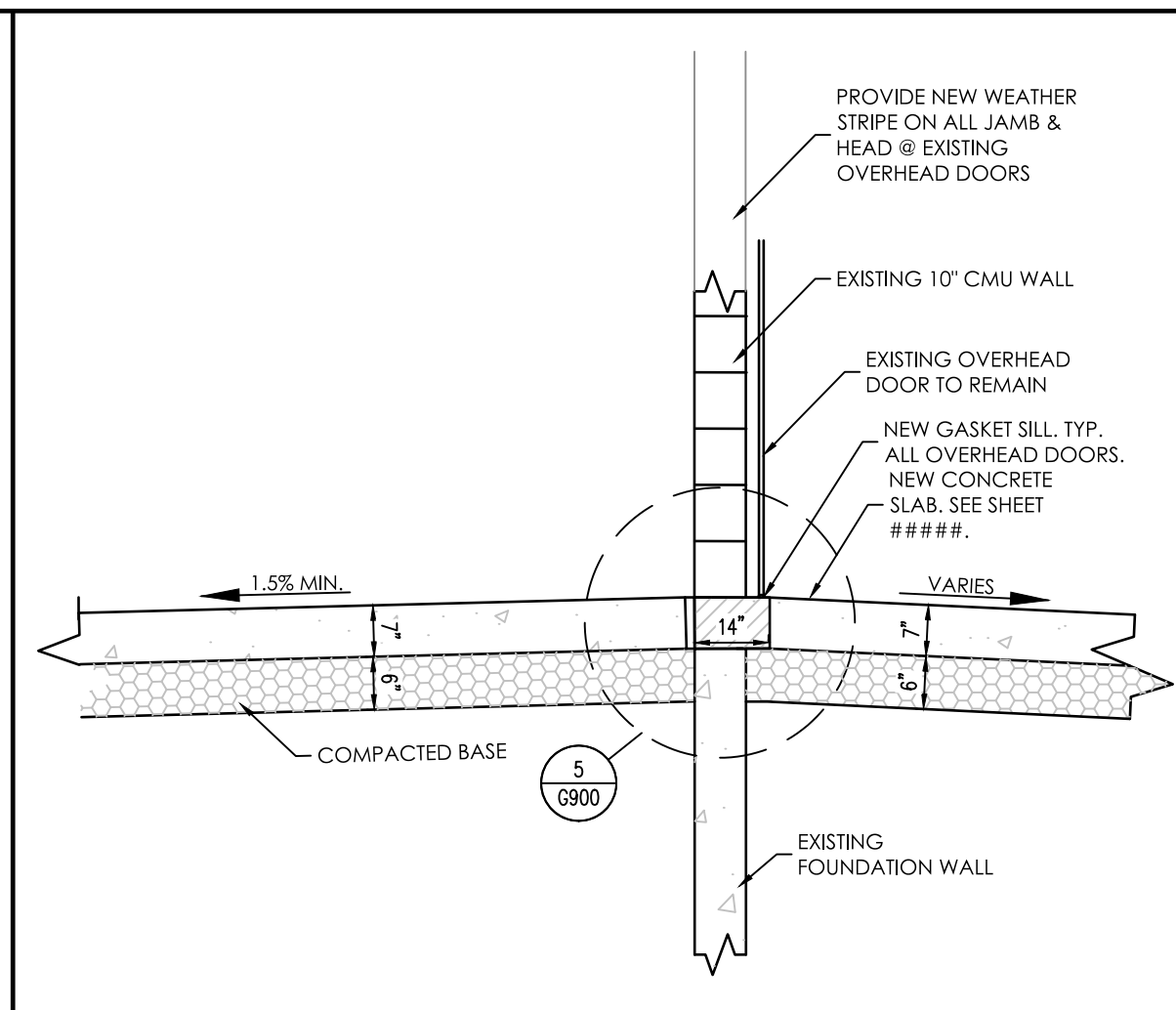
SCALE: 3/16" = 1'-0"



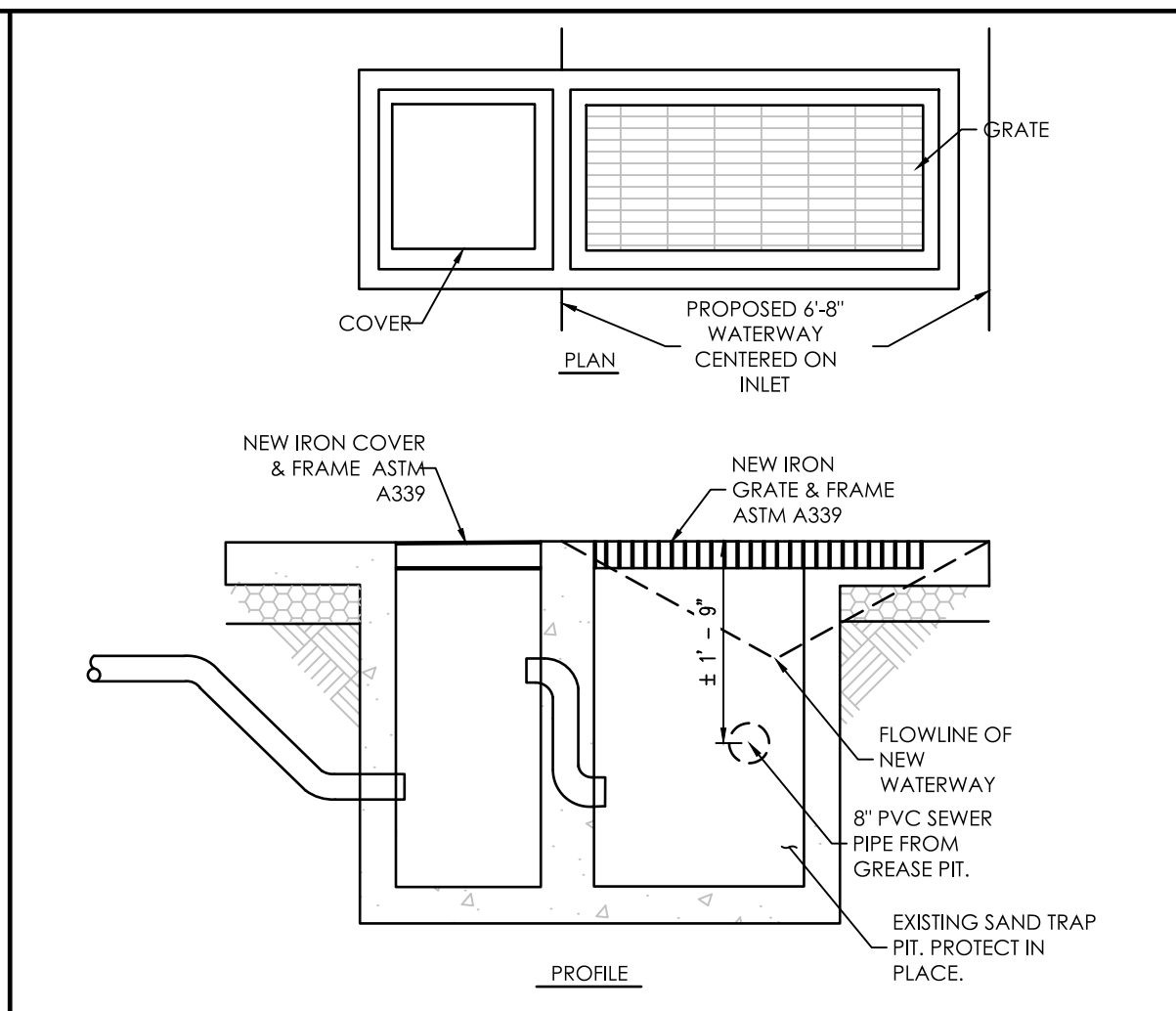
1 PAVEMENT SECTION(S)
NOT TO SCALE



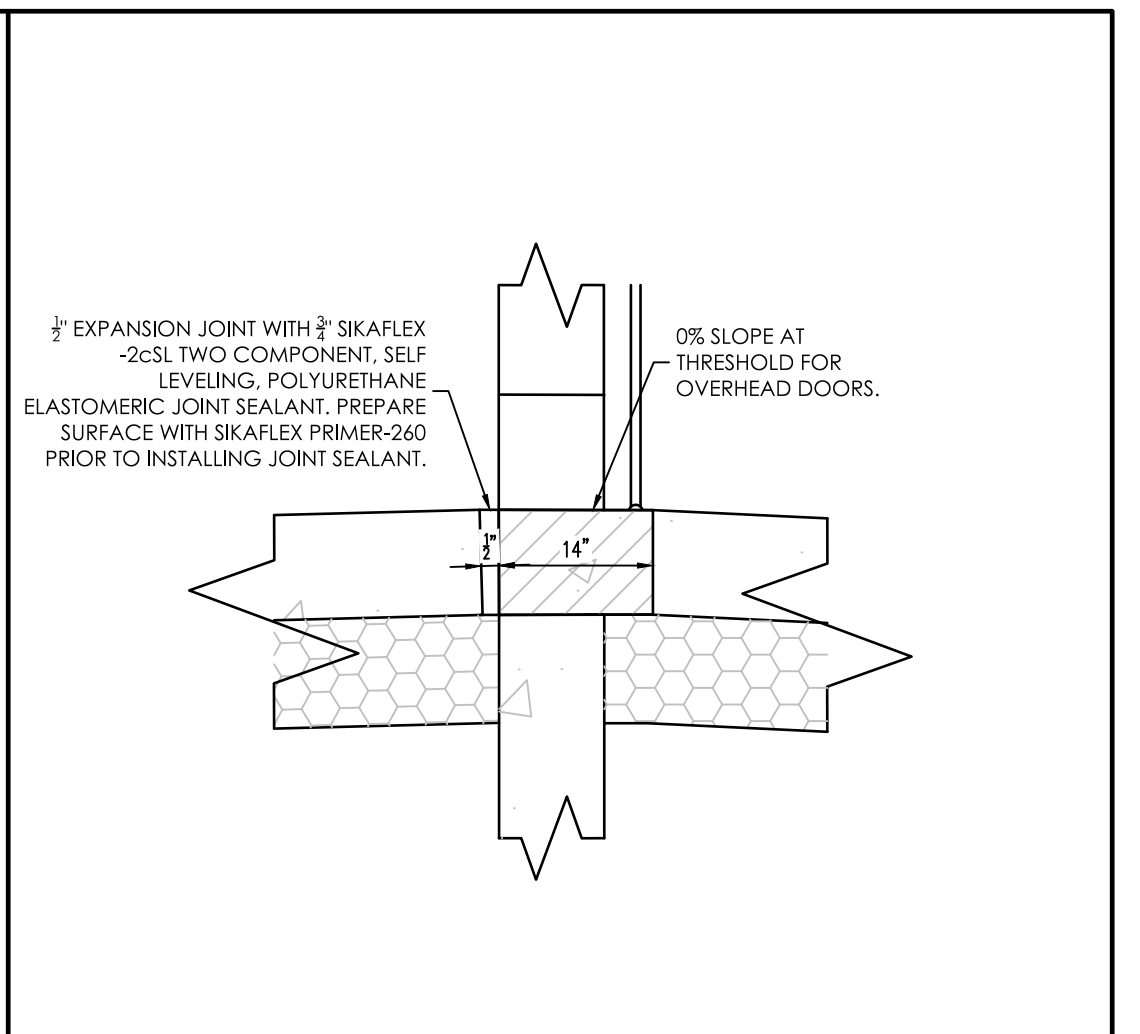
2 6'-8" WATERWAY DETAIL
NOT TO SCALE



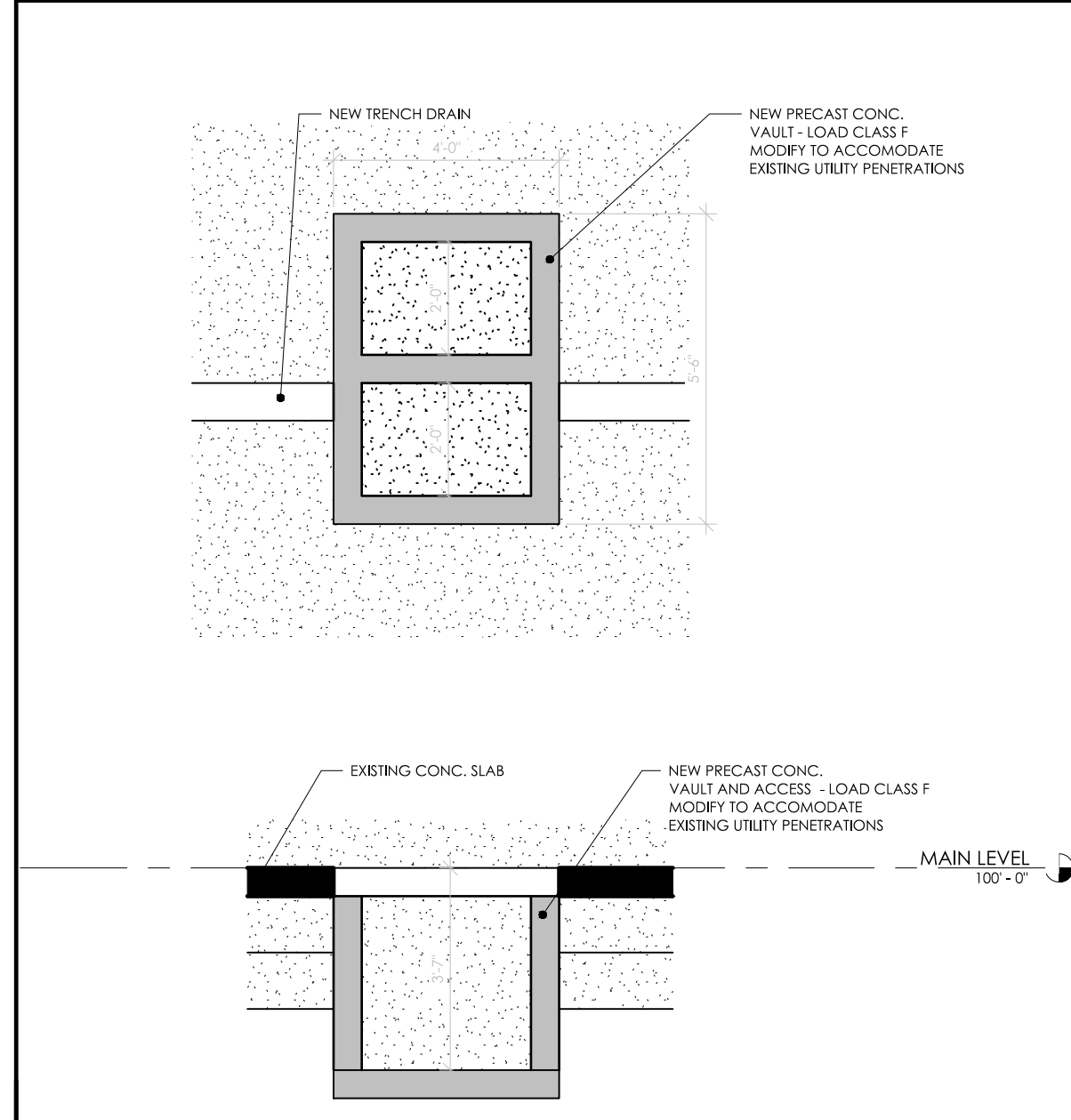
3 TYPICAL SLAB SECTION AT OVERHEAD DOOR SECTION
NOT TO SCALE



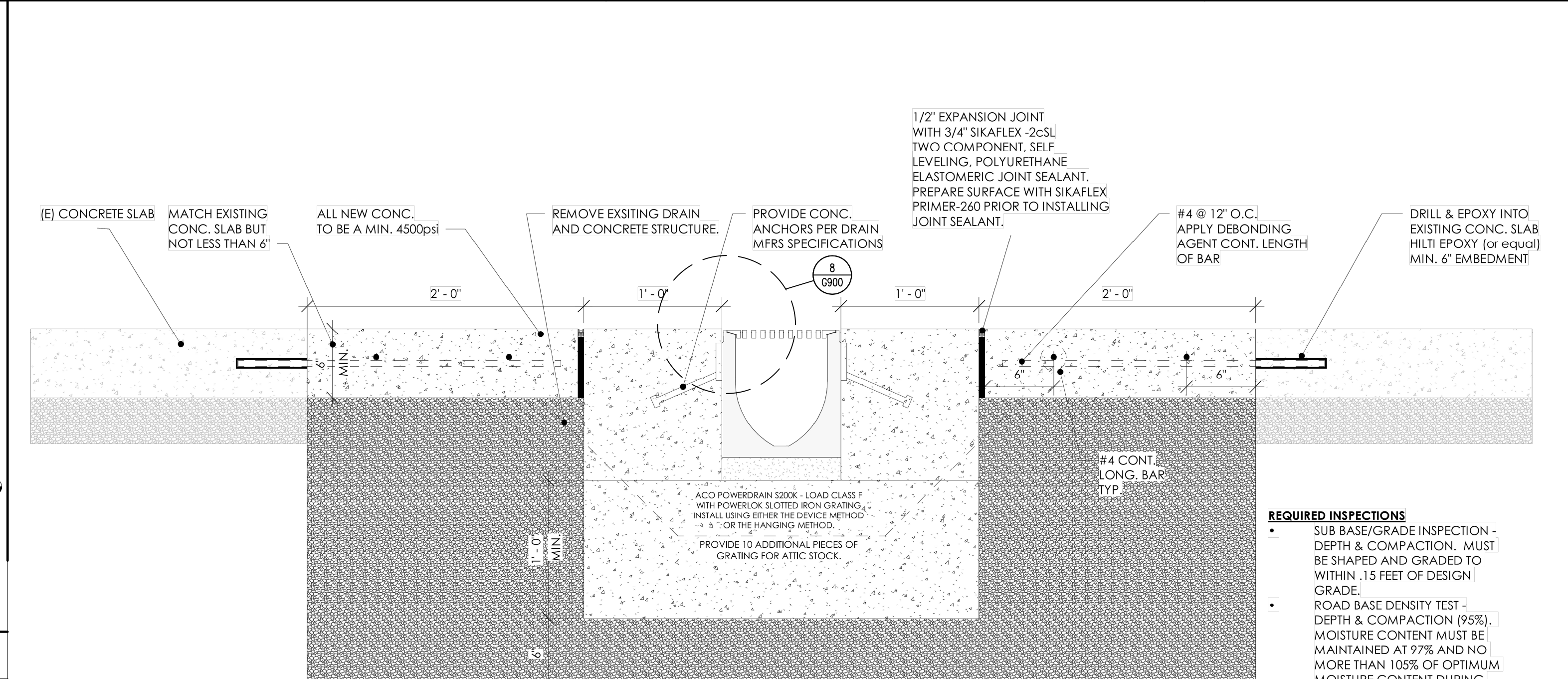
4 SAND TRAP DETAIL
NOT TO SCALE



5 TYPICAL EXPANSION JOINT
NOT TO SCALE



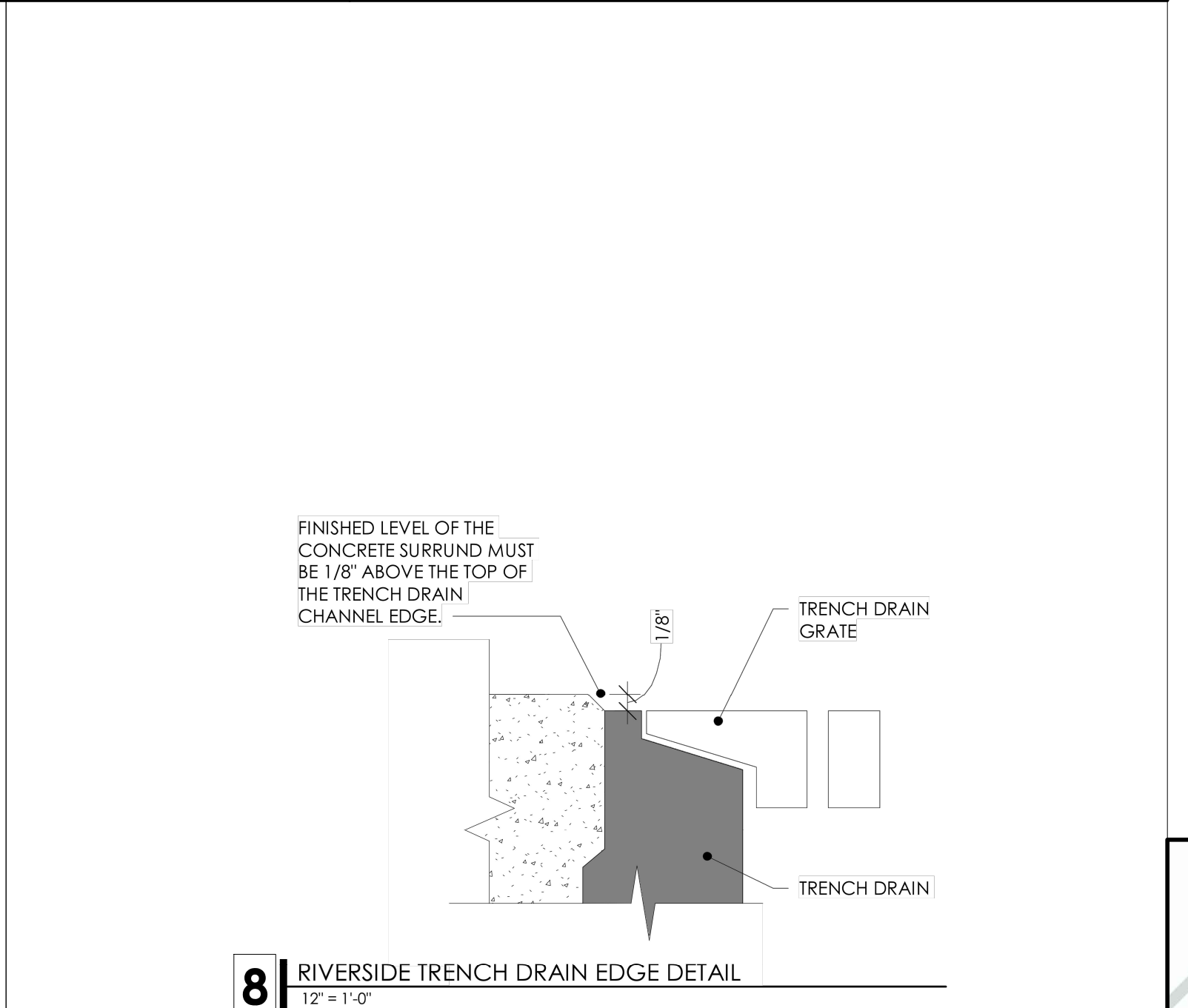
6 SAND OIL SEPARATOR DETAILS
NOT TO SCALE



7 RIVERSIDE TRENCH DRAIN DETAIL
1/2\"/>

REQUIRED INSPECTIONS

- SUB BASE/GRADE INSPECTION - DEPTH & COMPACTION. MUST BE SHAPED AND GRADED TO WITHIN .15 FEET OF DESIGN GRADE.
- ROAD BASE DENSITY TEST - DEPTH & COMPACTION (95%). MOISTURE CONTENT MUST BE MAINTAINED AT 97% AND NO MORE THAN 105% OF OPTIMUM MOISTURE CONTENT DURING COMPACTION OPERATION.
- CONCRETE STRENGTH
- PROVIDE ALL REQUIRED COMPACTION TESTING RESULTS TO ARCHITECT AND OWNER PRIOR TO POURING CONCRETE.

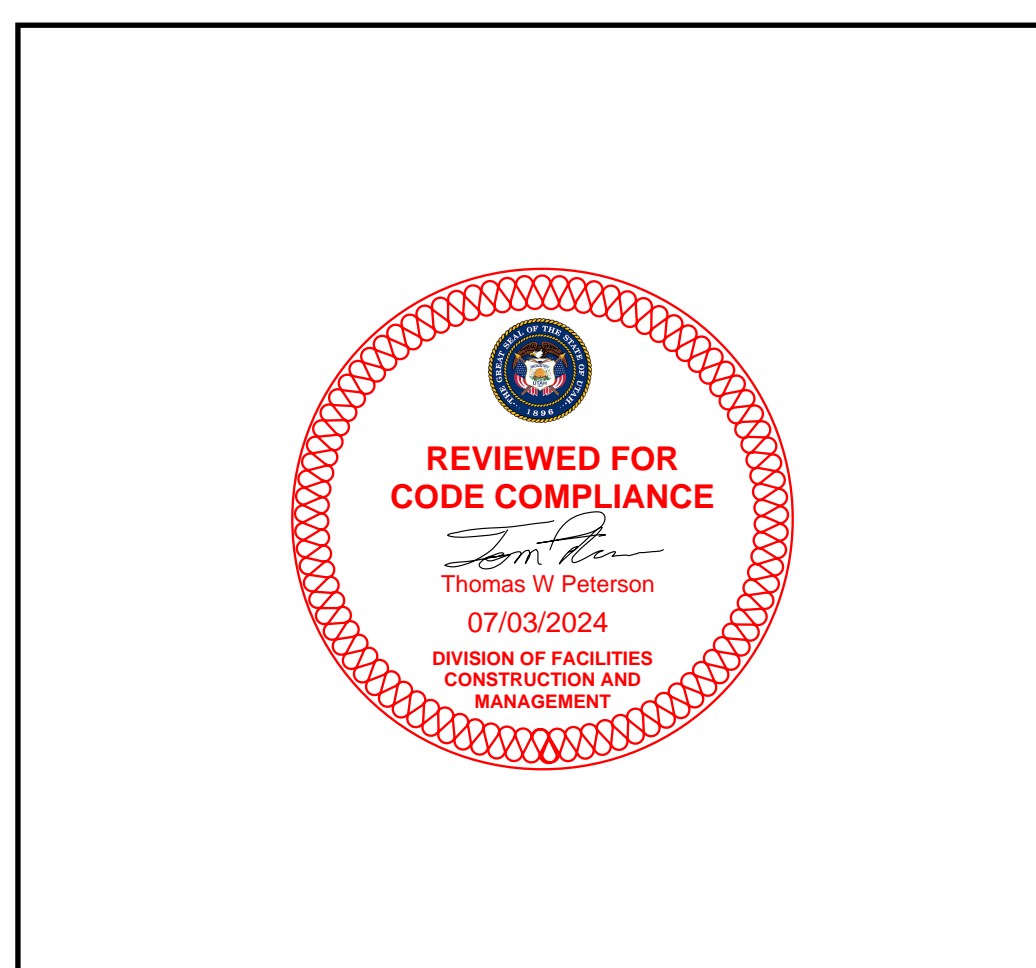


8 RIVERSIDE TRENCH DRAIN EDGE DETAIL
1/2\"/>



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DETAILS

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